
Athletic Facilities Master Plan

Architect's Project Number: CSG685

North Boone Community Unit School District 200

6248 N. Boone School Road
Poplar Grove, Illinois 61065



Preliminary Draft Issue
May 31, 2022



Cashman Stahler Group

Athletic Facilities Master Plan

Part One - Summary

Stadium Design Concept C2.1

Drawing A400
Drawing A400a

Master Plan Design Concept C2.1

Drawing A401
Drawing A401a (Varsity Complex)
Drawing A401b (Junior Varsity Complex)

Budget Cost Estimates

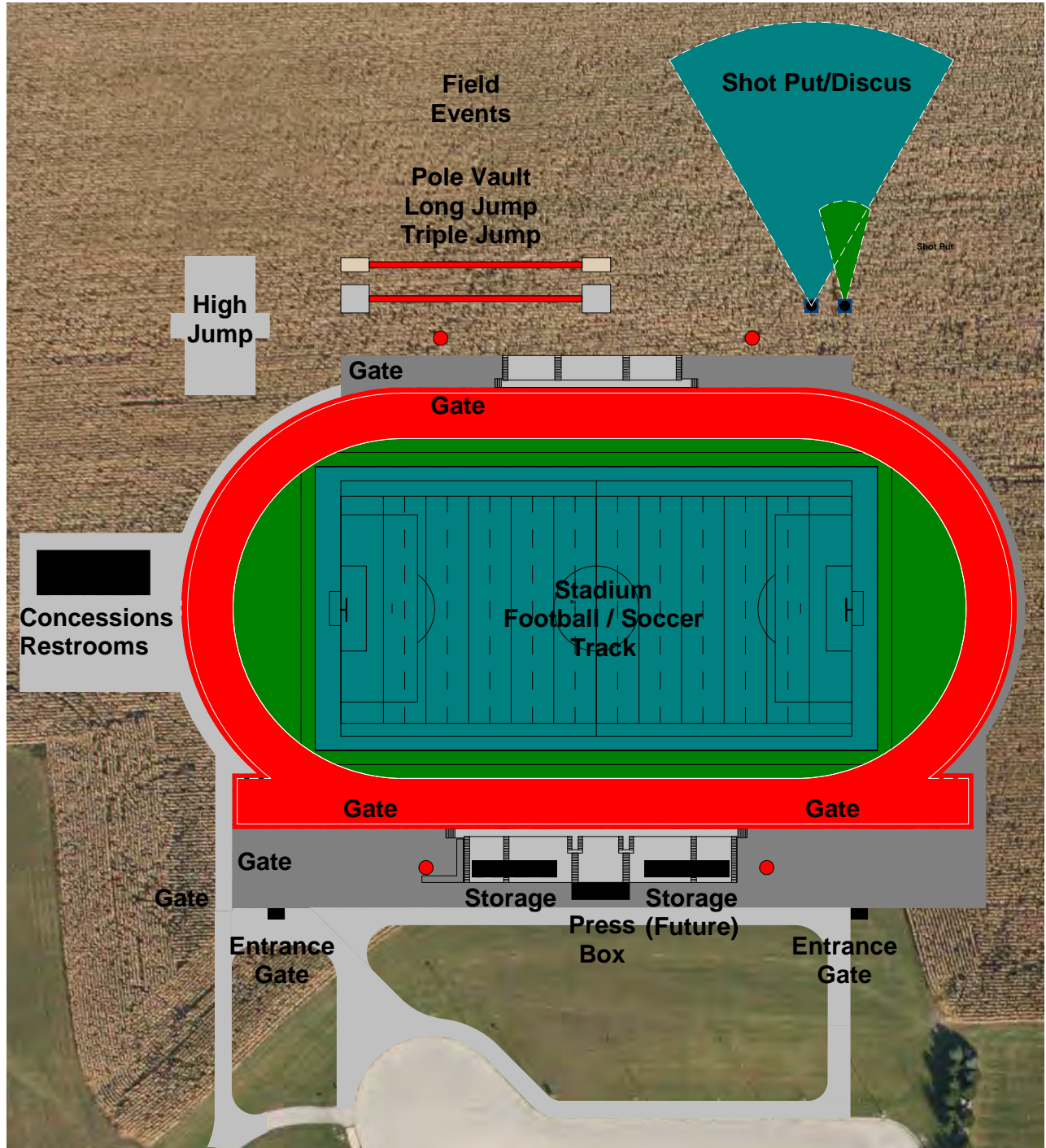
Budget Cost Summary - Football / Soccer / Track Complex (Concept C2.1)
Budget Cost Summary - Football / Soccer / Track Complex (Concept C2.1) Phasing
Budget Cost Summary - Baseball / Softball / Football / Soccer





① Stadium Concept C2.1
1" = 300'-0"

Cashman Stahler Group 1910 S. Highland Avenue, Suite 310 Lombard, Illinois 60148 T: 630-988-8800 	Project: Athletic Facilities Master Plan	Date: 05/31/22 Project: CSG685
	Client: North Boone Community Unit School District 200 6248 N. Boone Road, Poplar Grove, IL 61065	A400



① Stadium Concept C2.1 Partial
 1" = 100'-0"



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Stadium Concept C2.1
 Athletic Facility Master Plan

North Boone Community Unit School District 200
 Poplar Grove, Illinois

Date: 05/31/22

Project: CSG685

A400a




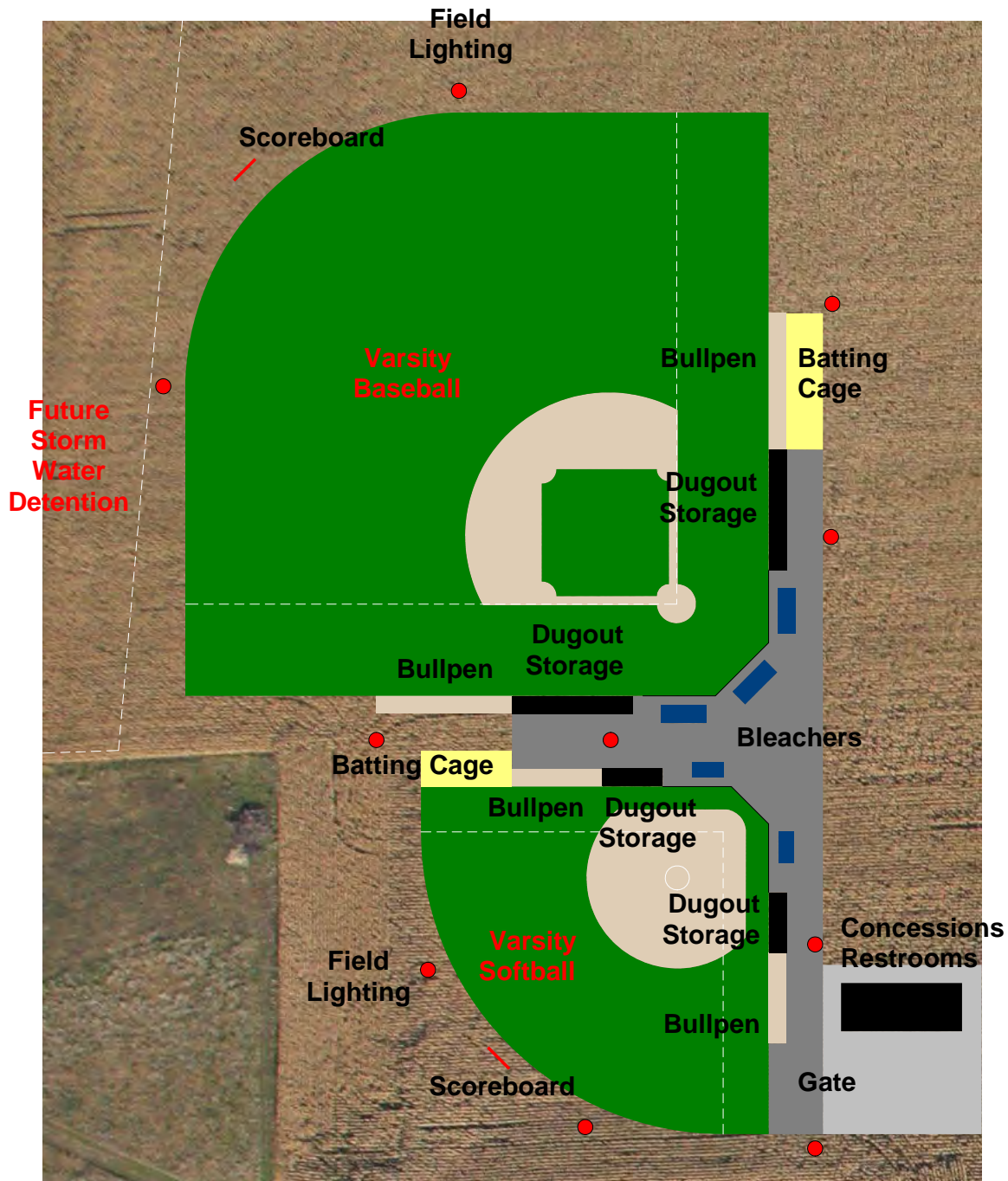
① Overall Site Plan (Site Concept C2.1)
1" = 300'-0"

Date: 05/31/22
Project: CSG685
A401

Project: **Athletic Facilities Master Plan**
Client: **North Boone Community Unit School District 200**
6248 N. Boone Road, Poplar Grove, IL 61065

Project: **Cashman Stahler Group**
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Overall Site Plan (Site Concept C2.1)

Varsity Complex

1" = 100'-0"



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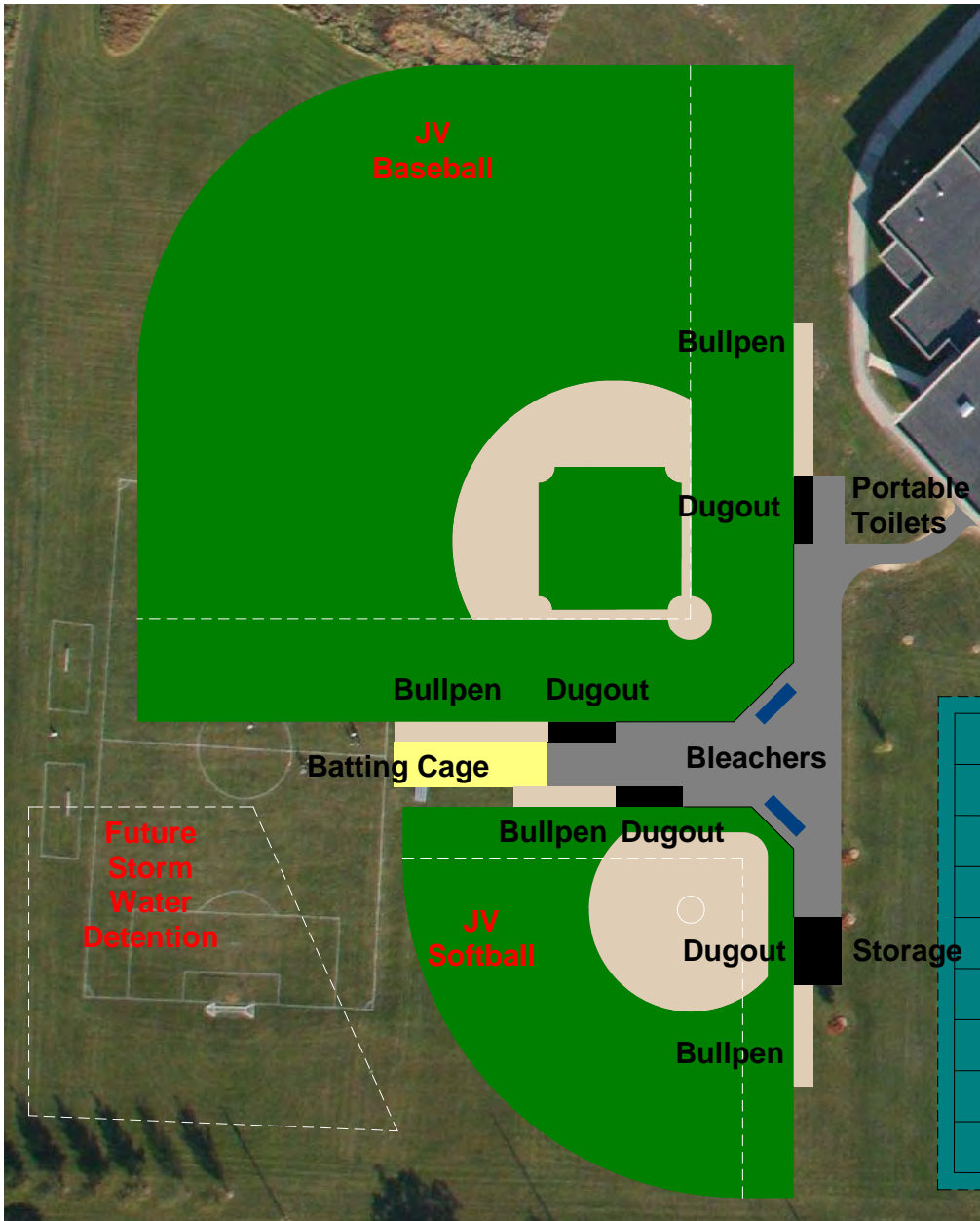
Stadium Concept C2.1
 Athletic Facility Master Plan

North Boone Community Unit School District 200
 Poplar Grove, Illinois

Date: 05/31/22

Project: CSG685

A401a



Overall Site Plan (Site Concept C2.1)

Junior Varsity Complex

①

1" = 100'-0"



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Stadium Concept C2.1

Athletic Facility Master Plan

North Boone Community Unit School District 200

Poplar Grove, Illinois

Date: 05/31/22

Project: CSG685

A401b

Athletic Facility Master Plan
Budget Cost Summary
Football / Soccer / Track Complex
05/31/2022

Stadium Scope of Work	Concept C2	Concept C2	Alternate Scope	
	(Natural Grass Turf)	(Synthetic Turf)	Budget Cost	Description
	Budget Cost	Budget Cost	Budget Cost	
Athletic Field (Football/Soccer)				
Synthetic Turf		\$1,232,600		
Stormwater Drainage / Detention		\$391,400		
Stone Base		\$90,900		
Natural Turf	\$223,200			
Stormwater Drainage (Perimeter at Track)	\$168,900			
Subsurface Field Drainage System			\$220,000	(Add Drainage System)
Bleachers				
Home Seating (1500 Seats)	\$820,000	\$820,000	-\$150,000	(Reduce Seating to 1200)
(Aluminum / Structure / Foundations)				
Visitor Seating (500 Seats)	\$260,000	\$260,000		
(Aluminum / Structure / Foundations)				
Press Box	\$180,000	\$180,000		
Stadium Sound System	\$50,000	\$50,000		
Miscellaneous Sitework	\$21,400	\$21,400		
Electrical Service	\$30,000	\$30,000		
Field Lighting				
Field Lighting (4 Poles)	\$435,000	\$435,000		
Concessions / Restrooms				
Building (2200 SF)	\$827,400	\$827,400		
Food Service Equipment			-\$60,000	(Reuse existing equipment)
Septic System / Domestic Water Service				
Primary Electrical Service / Gear (Stadium)				
Storage Building (beneath Bleachers)				
Building (720 SF)	\$236,300	\$236,300		
Ticket Booth				
Building (64 SF)			\$54,100	(Add Ticket Booth)
Athletic Track (400M) / Field Events				
Asphalt Paving / Stone Base	\$444,000	\$444,000		
Track Surface				
Site Work / Detention (included Below)				
Sitework / Site Improvements				
Excavation / Grading / Backfill	\$399,700	\$399,700		
Stormwater / Detention				
Track / Sidewalk / Bleachers	\$140,200	\$140,200		
Clay Fill (Imported)	\$311,000	\$311,000		
Concrete Paving	\$534,100	\$534,100	-\$96,750	(50% Asphalt/50% Concrete)
Stadium Sidewalks / Drives				
Miscellaneous Electrical / Lighting	\$47,500	\$47,500		
Landscaping	\$20,000	\$20,000		
Scoreboard / Down Timers (2)	\$64,000	\$64,000		
Chainlink Fencing / Gates				
Black Vinyl Clad Fencing	\$238,800	\$238,800	-\$37,500	(Galvanized Fencing)
Subtotal Direct Costs				
	\$5,451,500	\$6,774,300	---	---
GC/Protection/Insurance/Bonds	\$299,800	\$372,600		
Total Construction Cost				
	\$5,751,300	\$7,146,900	---	---
Overhead and Profit (5%)	\$287,600	\$357,300		
Construction Contingency (5%)	\$287,600	\$357,300		
Owner's Design Contingency (5%)	\$287,600	\$357,300		
Utility Fees	\$27,500	\$27,500		
Total Project Cost				
	\$6,641,600	\$8,246,300	---	---

Athletic Facility Master Plan
Budget Cost Summary - Phased Construction
Football / Soccer / Track Complex
05/31/2022

Stadium Scope of Work	Phase One	Phase Two	Phase Three	Budget Cost Total	Alternates
	(Synthetic Turf)	(Synthetic Turf)	(Synthetic Turf)		Budget Cost
	Budget Cost	Budget Cost	Budget Cost		
Athletic Field (Football/Soccer)					
Synthetic Turf	\$1,232,600				
Stormwater Drainage / Detention	\$391,400				
Stone Base	\$90,900				
Natural Turf					
Stormwater Drainage (Track/Field Perimeter)	---	---	---		
Subsurface Field Drainage System	---	---	---		
Bleachers					
Home Seating (1500 Seats)		\$820,000			-\$150,000
(Aluminum/Structure/Foundations)					
Visitor Seating (500 Seats)		X (PARTIAL)	\$260,000		
(Aluminum/Structure/Foundations)					
Press Box		\$180,000			
Stadium Sound System		\$50,000			
Miscellaneous Sitework		\$21,400			
Electrical Service		\$30,000			
Field Lighting					
Field Lighting (4 Poles)	X (PARTIAL)	\$435,000			
Concessions / Restrooms					
Building (2200 SF)		X	\$671,400		
Food Service Equipment					-\$60,000
Septic System / Domestic Water Service	X	\$96,000			
Primary Electrical Service (Stadium)	X	\$60,000			
Storage Building (beneath Bleachers)					
Building (720 SF)		\$236,300			
Ticket Booth					
Building (64 SF)					\$54,100
Athletic Track (400M) / Field Events					
Asphalt Paving / Stone Base	\$444,000				
Track Surface					
Site Work / Detention (included Below)					
Sitework / Site Improvements					
Excavation / Grading / Backfill	\$399,700				
Stormwater / Detention					
Track / Sidewalk / Bleachers	\$140,200				
Clay Fill (Imported)	\$311,000				
Concrete Paving	\$534,100	X (PARTIAL)			-\$96,750
Stadium Sidewalks / Drives					
Miscellaneous Electrical / Lighting / Data	\$47,500				
Landscaping		\$20,000			
Scoreboard / Down Timers (2)	\$64,000				
Chainlink Fencing / Gates					
Black Vinyl Clad Fencing	\$238,800	X (PARTIAL)			-\$37,500
Subtotal Direct Costs	\$3,894,200	\$1,948,700	\$931,400	\$6,774,300	---
GC/Protection/Insurance/Bonds	\$214,200	\$107,200	\$51,200	\$372,600	
Total Construction Cost	\$4,108,400	\$2,055,900	\$982,600	\$7,146,900	---
Overhead and Profit (5%)	\$205,400	\$102,800	\$49,100	\$357,300	
Construction Contingency (5%)	\$205,400	\$102,800	\$49,100	\$357,300	
Owner's Design Contingency (5%)	\$205,400	\$102,800	\$49,100	\$357,300	
Utility Fees	---	\$27,500	---	\$27,500	
Total Project Cost	\$4,724,600	\$2,391,800	\$1,129,900	\$8,246,300	---
Escalation (5% annually)		\$119,600	\$113,000	\$232,600	
Adjusted Total Project Cost	\$4,724,600	\$2,511,400	\$1,242,900	\$8,478,900	---

Athletic Facility Master Plan
Budget Cost Summary
Baseball / Softball / Football/Soccer
05/31/2022

Athletic Field Scope of Work	Varsity Complex	Junior Varsity Complex	Other	Alternates
	Budget Cost	Budget Cost	Budget Cost	Budget Cost
Varsity Baseball	\$970,500			
Excavation / Backfill / Grading				
Natural Grass Turf (142,000 SF)				
Dugouts / Storage (Masonry)				
Batting Cage				
Scoreboard				
Fencing / Gates / Backstop / Foul Poles				
Field Lighting				\$455,000
Field Irrigation System				\$284,000
Varsity Softball	\$473,000			
Excavation / Backfill / Grading				
Natural Grass Turf (44,000 SF)				
Dugouts Storage (Masonry / Roof)				
Batting Cage				
Scoreboard				
Fencing / Gates / Backstop / Foul Poles				
Field Lighting				\$180,000
Field Irrigation System				\$88,000
Varsity (General Site Improvements)	\$252,200			
Concrete Sidewalk/Paving				
Drinking Fountain				
Electrical Service / Panels / Distribution				
Domestic Water Service / Yard Hydrants				
Junior Varsity Baseball		\$709,900		
Grub / Fill / Regrade				
Natural Grass Turf (Large Roll Sod) (142,000 SF)				
Natural Grass Turf (Seed) (44,000 SF)				-\$144,000
Dugouts (Fence / Roof)				
Batting Cage				
Fencing / Gates / Backstop / Foul Poles				
Field Lighting				\$455,000
Junior Varsity Softball		\$342,000		
Grub / Fill / Regrade				
Natural Grass Turf (Large Roll Sod) (142,000 SF)				
Natural Grass Turf (Seed) (44,000 SF)				-\$38,000
Dugouts (Fence / Roof)				
Batting Cage				
Fencing / Gates / Backstop / Foul Poles				
Field Lighting				\$180,000
Junior Varsity (General Site Improvements)		\$272,200		
Concrete Sidewalk/Paving				
Drinking Fountain				
Electrical Service / Panels / Distribution				
Domestic Water Service / Yard Hydrants				
Storage Building				
Soccer / Football Field (Typical)			\$273,800	
Grub / Fill / Regrade				
Natural Grass Turf (Large Roll Sod)				
Natural Grass Turf (Seed)				-\$149,300
Subtotal Direct Costs	\$1,695,700	\$1,324,100	\$273,800	---
GC/Protection/Insurance/Bonds	\$93,300	\$72,800	\$15,100	
Total Construction Cost	\$1,789,000	\$1,396,900	\$288,900	---
Overhead and Profit (5%)	\$89,500	\$69,800	\$14,400	
Construction Contingency (5%)	\$89,500	\$69,800	\$14,400	
Design / Owner's Contingency (5%)	\$89,500	\$69,800	\$14,400	
Utility Fees	---	---	---	
Total Project Cost	\$2,057,500	\$1,606,300	\$332,100	---

Athletic Facilities Master Plan

Part Two - Meeting Minutes

January 5, 2022 Meeting

February 22, 2022 Meeting

March 14, 2022 Meeting



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January 19, 2022

Meeting Minutes

Meeting Date: January 5, 2022

Project: Stadium Master Planning
Athletic Facilities Master Planning
North Boone Community Unit School District 200
CSG685

Participants:

Dr. Michael Greenlee	- NBCUSD 200
Melissa Geyman	- NBCUSD 200
Jim Nolen	- NBCUSD 200
Brian Haselhorst	- NBCUSD 200
Nan Schilling	- NBCUSD 200
Greg Stahler	- CSG

Prepared By: Mr. Greg Stahler

Meeting Purpose: *Stadium and Athletic Facility Master Planning*

Topics of Discussion

Stadium Improvements Scope

The following summarizes the Committee discussions and recommendations associated with a new or renovated stadium facility.

1. *Stadium Location* - Preferred location for the new stadium would be adjacent to the High School, west of the High School Bus Lot. The committee also recommended developing an alternate stadium concept and budget cost (with similar scope) for the existing stadium site.
2. *Existing Stadium* - If a new stadium is constructed on an alternate site, the existing stadium improvements (bleachers, track, lighting, scoreboard, and concessions) would remain intact.
3. *Stadium Athletic Surface* - Provide regulation size (IHSA) football field and soccer field (300 x 180). The fields would be natural grass turf with an irrigation system. The cost of a synthetic surface should also be included in the budget cost as an alternate cost item.



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4. *Stadium Entrances* - An optimal stadium entrance configuration would be separate home and visitor entrances.
5. *Bleachers (Home)* - Provide seating for 1500. A seating capacity range of 1200 to 1500 is recommended. (Prior Stadium Home Bleacher Concepts and Budgets included seating capacities of 1558 and 1078.)
6. *Bleachers (Visitor)* - Provide seating for 500. (Prior Stadium Visitor Bleacher Concepts and Budgets included seating capacities of 560 and 0.)
7. *Press Box* - Include a press box with the maximum square foot floor area permitted by code. (approximately 600 SF). Provide a new sound system. Filming platforms should be provided at the press box floor level. Locating a filming platform on the press box roof was not a preference.
8. *Scoreboard* - Provide one (1) scoreboard and two (2) down clocks (one located at each end of the field).
9. *Concessions / Restroom Building* - Include a building which provides concessions, storage, and restroom facilities (similar to the previous stadium concept), and excludes outdoor covered eating or grilling areas. The concessions building would be either centrally located at one end of the stadium between the home and visitor seating areas, or located adjacent on the home bleachers side of the stadium.
10. *Parking* - The necessity of including additional parking was discussed. At this time, the existing spaces at the High School, Upper Elementary School, and Middle School should be adequate to meet event parking needs.
11. *Field Events* - Provide high jump, long jump/triple jump, discus, pole vault, and shot put event areas.
12. *Storage* - Provide a storage building for athletics, PE, and maintenance.
13. *Field Lighting* - Provide new, pole mounted (4), field lighting.
14. *Competition Track* - Provide new eight (8) lane competition running track with athletic running surface.



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Athletic Fields Master Planning

One of the previously prepared Athletic Field Master Plan Concepts was distributed to the participants to help generate some initial discussions. The following summarizes the discussions and recommendations related to short-term and long-term athletic facility needs for the High School, Middle School, and Upper Elementary School.

1. *Baseball* - There is currently a Freshman, Junior Varsity, and Varsity baseball team. All games are played on the existing varsity field. Master Planning should include an area for one (1) additional field.
2. *Varsity Baseball* - The field should be relocated from the present location. A location adjacent to the High School is preferable. The pros and cons of a natural grass turf versus synthetic turf infield and outfield were briefly discussed.
3. *Junior Varsity Baseball* - At a minimum, the existing field will need to be upgraded. Relocating the field adjacent to the High School was preferable.
4. *Softball* - Presently there is a Varsity and Junior Varsity field. The existing fields will need to be upgraded and improved.
5. *Soccer* - Presently 20-30 Middle School students participate on the soccer team. No High School boys or girls soccer teams. Provide a regulation-size soccer field on the south side of the Middle School.
6. *Middle School PE* - Outdoor PE classes presently use the field on the south side of the Middle School.
7. *Upper Elementary PE* - Outdoor PE instruction presently uses the grass area between the baseball infield and the asphalt playground.
8. *Existing Stadium* - If the new stadium is constructed, the existing stadium could be re-purposed as a football practice field and for Middle School PE classes.
9. *Other District Site and Building Improvement Projects*
 - a. Capron Elementary School restroom renovation and playground(s).
 - b. Manchester Elementary School playground(s).
 - c. Poplar Grove Elementary School playground(s).
 - d. North Boone Middle School restroom renovation and playgrounds.
 - e. High School counselor office improvements and A/C equipment.
 - f. Air Conditioning (all buildings, except the High School).



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Pease review these meeting minutes and advise us in writing of any additions or modifications to the information contained in this document.

cc: All Participants



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February 28, 2022

Meeting Minutes

Meeting Date: February 22, 2022

Project: Stadium Master Planning
Athletic Facilities Master Planning
North Boone Community Unit School District 200
CSG685

Participants:

Dr. Michael Greenlee	- NBCUSD 200
Melissa Geyman	- NBCUSD 200
Jim Nolen	- NBCUSD 200
Allison Louis	- NBCUSD 200
Jarrod Peterson	- NBCUSD 200
Aaron Sullivan	- NBCUSD 200
Greg Stahler	- CSG

Prepared By: Mr. Greg Stahler

Meeting Purpose: Stadium and Athletic Facility Master Planning

Topics of Discussion

Stadium Improvements Scope

The following summarizes the discussions associated with the condition, configuration, and location of existing athletic facilities and recommendations for future improvements and athletic facility needs.

Part One - Athletic Field Utilization

Upper Elementary School Programs

1. *Playground (Asphalt)* - The size of the existing asphalt playground is appropriate. The condition of the asphalt pavement surface is in fair condition. The students having to traverse around the parking lot to access the playground areas is not an optimal arrangement, but is supervised/managed.
2. *Playground (Equipment)* - The size of the existing equipment playground is appropriate. Existing equipment needs to be replaced/updated.



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3. *Grass Play Field* - The grass area between the playgrounds and baseball diamond is used for recess and PE class. The area is appropriate. The addition of fencing along the west side of the grass area (along the west drive) would enhance student safety.
4. *Baseball Diamond* - The existing baseball diamond is rarely used by the Upper Elementary School students for recess or PE class. The diamond is used by youth softball and baseball programs.
5. *Running Track* - The existing running track is used by the Upper Elementary School students for physical education classes.

Middle School Programs

1. *Soccer* - The Coed soccer team uses Soccer Field B for both practice and competition (on Tuesdays or Thursdays in the spring). Coed soccer was a cut-sports this year. The soccer field is appropriate for the team's needs and is in good condition. Portable toilet(s) and Middle School restrooms are typically available during games.
2. *Football* - Football team practices on Practice Field B in the evening after the High School football practice. Football games are held on the Stadium Football field on weekdays (except when wet conditions would affect field condition).
3. *Track* - The track team practices on the existing running track. No home meets are scheduled due to the condition of the existing running track.
4. *Cross Country* - The team uses a course around the perimeter of the property.
5. *Tennis Courts* - In the past, the courts were used for recess. The courts are too small for recess and are no longer used. The courts are also small for a physical education class.
6. *Physical Education* - Physical education classes presently use the running track, the baseball JV Baseball diamond for kickball, and Soccer Field B for soccer and flag football.
7. *Club Sports* - Summer softball and baseball clubs (eight to nine teams) use both of the softball diamonds and the junior varsity baseball diamond.
8. *Cafeteria Courtyard* - The gravel space located east of the Middle School should be re-purposed as an outdoor student eating and gathering area by installing concrete or paver ground finish and fencing.



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High School

1. *Soccer* - Presently one girl's soccer team and no boy's soccer team. The team practices and plays games on Soccer Field A. Appropriately configured facilities would increase student participation.
2. *Softball* - Presently a Junior Varsity and Varsity team. The two teams practice and host games on the two existing fields.
3. *Football* - At present, there is a freshman/sophomore and a Varsity team. Both teams practice on Practice Field A. The stadium field is used for Thursday night walkthroughs, Friday night Varsity games, and Freshman/Sophomore games.
4. *Baseball* - At present, there is a Junior Varsity and Varsity team. The Junior Varsity team practices on the JV Baseball Field and host games on the Varsity Field. The varsity team both practices and plays on the Varsity Field.
5. *Lacrosse* - Presently no teams. No teams anticipated in the near future.
6. *PE Classes* - Practice Fields A and B, Soccer Field A, the running track, and the softball diamonds are utilized for physical education classes.
7. *Tennis* - Presently no teams or clubs.
8. *Cross Country* - The team uses a course around the perimeter of the property.
9. *Track and Field* - The condition of the running track and the field event areas are poor and not appropriate for practice or hosting meets. Appropriate facilities would attract more participants.
10. *Storage* - Athletic and maintenance equipment and materials are presently stored in the High School, in the bus barn, and the yellow maintenance barn, and the white storage shed.
11. *Restrooms (General)* - Unlocking the High School to provide restroom access (both players and spectators) for sporting events is not a preferable arrangement.



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Part Two - Athletic Field Assessments / Recommendations

1. *General* - The existing athletic fields do not provide ADA accessibility for participants or spectators.
2. *Soccer Field A* - The field is located on a low area of the site and drains poorly. Portable bleachers are used for spectators. No scoreboard, concrete pad for portable bleachers, water, or electrical service. Portable restrooms are located by Varsity Softball Field and the restrooms in the High School are available. When the field is too wet to use, the area east of the field is utilized for practice.
3. *Soccer Field B* - The field is in good condition and drains well. No electrical or water service is provided (Electrical is available in the white storage shed).
4. *Football Field (Stadium)* - The grass turf field is well maintained and in good condition. The field is used almost exclusively for Varsity football games on Friday night and Freshman/Sophomore football games on Monday.
5. *Running Track* - The track is unuseable for hosting events. The poor condition of the asphalt, lack of athletic surface, lack of lane and event lines also make the track a poor practice facility.
6. *Field Events* - The existing shot put and discuss event areas are not properly equipped and are in poor condition. No high jump or pole vault event areas are provided. The existing tennis courts have been utilized for high jump practice.
7. *Softball / Soccer (General)* - The addition of restrooms, electrical, domestic water service was discussed as potential future improvements to this area. A small, shared concessions was also discussed.
8. *Softball Diamond (Varsity)* - The diamond is in good condition. The outfield (center field and left field) drain slowly. Diamond has dugouts and undergone some backstop improvements. Diamond does not have scoreboard. The introduction of field lighting would be beneficial for increasing the availability of the diamond for practice, games, and outside program use (in lieu of adding an additional diamond(s) in the future).
9. *Softball Diamond (JV)* - The diamond is in good condition, drains better than the varsity diamond. Diamond has undergone some backstop improvements No permanent outfield fence is installed (due to space constraints with the soccer field), no dugouts, scoreboard, water service or electrical, or concrete pad for portable bleachers. The introduction of field lighting in the future was discussed.



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10. *Baseball (General)* - Provide storage, water service, electrical, and lights. A small concessions was also discussed. The preferable arrangement would be to provide restroom facilities in order to eliminate the need to access the High School for restrooms. Provide water service for field maintenance and player and spectator use. The introduction of field lighting in the future would benefit scheduling of practice and accommodating additional teams and games.
11. *Baseball Diamond (JV)* - The diamond should be relocated adjacent to the High School. The diamond should include dugouts, permanent fencing, batting cages, scoreboard, storage (for athletic equipment and maintenance equipment/supplies), backstops, bleachers (permanent or portable) located behind home plate. The renovation of the infield to a baseball infield is not required.
12. *Baseball Diamond (Varsity)* - The diamond's location adjacent the road intersection is not appropriate for the safety of teams, spectators, and vehicles. The diamond should be relocated adjacent to the High School. The diamond should include dugouts, permanent fencing, batting cages, scoreboard, storage (for athletic equipment and maintenance equipment/supplies), backstops, bleachers (permanent or portable) located behind home plate. A portable sound system and announcer/score keeper station is set up by the home dugout for games.
13. *Stadium* - The discussions relative to a new stadium were as follows:
 - a. A North/South field orientation would be preferable.
 - b. Synthetic turf field would provide all three schools to schedule the field for physical education classes, team practice and competition. In addition, the field could be used for PE and practice when other fields are unuseable due to weather conditions.
 - c. A new stadium located adjacent to the High School would be too remote from the Middle School or Upper Elementary for PE classes.
 - d. A new stadium located in the current stadium location would be appropriate for all three schools to use during the school day for PE classes.
14. *Tennis Courts* - The courts are in poor condition and unuseable for practice or events.

Please review these meeting minutes and advise us in writing of any additions or modifications to the information contained in this document.

cc: All Participants



Cashman Stahler Group

March 20, 2022

Meeting Minutes

Meeting Date: March 14, 2022

Project: Stadium Master Planning
Athletic Facilities Master Planning
North Boone Community Unit School District 200
CSG685

Participants:

Dr. Michael Greenlee	- NBCUSD 200
Melissa Geyman	- NBCUSD 200
Brian Haselhorst	- NBCUSD 200
Jim Nolen	- NBCUSD 200
Greg Stahler	- CSG

Prepared By: Mr. Greg Stahler

Meeting Purpose: Stadium and Athletic Facility Master Planning

Topics of Discussion

Part One - General

1. *Dugouts* - The JV baseball and JV softball diamond dugouts will not require roof coverings. Chainlink fence enclosures will be adequate.
2. *Stadium Entrances* - Two (2) stadium entrances (one home and one visitor) are preferred. Two (2) ticket booths will be included in the updated magnitude of cost estimate.
3. *Stadium Storage Building* - All concepts indicate one or two storage buildings beneath the home bleacher seating. Each storage building is 790 square feet in floor area. CSG will include the construction of one (1) storage building in the updated magnitude of cost estimate.
4. *Concession/Restroom Building* - Locating the stadium concessions/restrooms building at the end of the field (centered between the home and visitor bleachers) is preferred.



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Part Two - Athletic Field Comparison / Evaluation

1. The participants reviewed the Concept B and C Site Concepts and the associated CSG summary evaluations. The following summarizes the meeting discussions:

Stadium Site Concept B

1. *Concept B1*
 - a. No regulation size football or soccer practice fields can be provided until the softball diamonds are relocated.
 - b. The complete master plan will include one (1) full-size football and one (1) full-size soccer fields.
2. *Concept B2*
 - a. No regulation size football or soccer practice fields will be provided.

Stadium Site Concept C

1. *Concept C2*
 - a. This Concept is the preferred version of Concept C.
 - b. The high school athletic representatives also preferred Concept C2 - a varsity baseball/softball complex.
 - c. The committee requested CSG generate a modified version of Concept C2 with the diamonds oriented east/west and the field events located east of the stadium. (*REFER TO CONCEPT C2.1*)
 - d. The future distribution of the athletic fields will create three separate high school athletic field groupings:
 - PE Class - West of the high school.
 - Athletic Events / Competition - East of the high school.
 - Practice - Fields located south of the high school.
2. *Concept C2a*
 - a. A total of 449 designated non-ADA parking spaces are provided for the three schools (High School - 265, Middle School - 136, Upper Elementary School - 48). There are also non-designated parking spaces.
 - b. The Village of Poplar Grove Zoning Ordinance parking ratio requirements (8-10-7) are one (1) parking space for every four (4) seats in an outdoor stadium. Based on these requirements, the present designated parking space quantity will support 1800 outdoor stadium seats.



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- c. This concept includes several options for 182 future parking spaces.
- d. The committee requested CSG generate a modified version of Concept C2a with the diamonds oriented east/west and the field events located east of the stadium.
(REFER TO CONCEPT C2.2)

Please review these meeting minutes and advise us in writing of any additions or modifications to the information contained in this document.

cc: All Participants

Athletic Facilities Master Plan

Part Three - Stadium Design Concepts

Stadium Location Evaluation

Stadium Location Options

- Stadium Location A
- Stadium Location B
- Stadium Location C



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Athletic Facilities Master Plan

Stadium Location Evaluation

March 14, 2022

Athletic Field Evaluation / Comparisons

General

Stadium location adjacent High School is recommended

Primary use of new stadium will be for High School (PE, team practice, games)

Synthetic turf soccer/football stadium field recommended

All weather surface for PE, practice and games (all sports)

Stadium usage increased significantly versus a natural grass field



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Stadium Concept A (East/West Orientation)

General

Investment in new stadium with East/West orientation is not recommended

Benefits

Proximity to Middle School

- PE classes

Proximity to Upper Elementary School

- PE classes

Future Development Flexibility (East Property)

- Buildings

- Athletic facilities

Future Baseball diamond proximity to High School

Phasing of Construction

- Construction could be sequenced with use.

Detractions

East/West Orientation of Field

Proximity to High School (Locker Rooms / Athletic Entrances / Route)

- Distance for PE classes

- Distance for team practice

- Route between Stadium and High School

Elimination of Practice Field B (re-purposed for field events)

Elimination of stadium football field and running track



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Stadium Concept B (North/South Orientation)

Benefits

Proximity to Middle School

- PE Classes

Proximity to Upper Elementary School

- PE classes

Future Development Flexibility (East Property)

- Buildings

- Athletic facilities

Future Baseball diamond proximity to High School

Detractions

Proximity to High School (Locker Rooms / Athletic Entrances / Route)

- Distance for PE classes

- Distance for team practice

Elimination of stadium football field and running track

Elimination of Practice Field B

Phasing of Construction

- Construction can not be sequenced with use.



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Stadium Concept C (Adjacent High School)

General

Preferred location and orientation for Stadium

Benefits

Proximity to High School (Locker Rooms / Athletic Entrances / Route)

- Distance for PE classes
- Distance for team practice
- Proximity of events to parking

Phased Construction

- Existing stadium remains operational

Existing Stadium Retained

- PE classes / Practice / Competition Field (HS/UE/MS)

Proximity to future storm water detention (cost implications)

Detractions

Future Development Flexibility

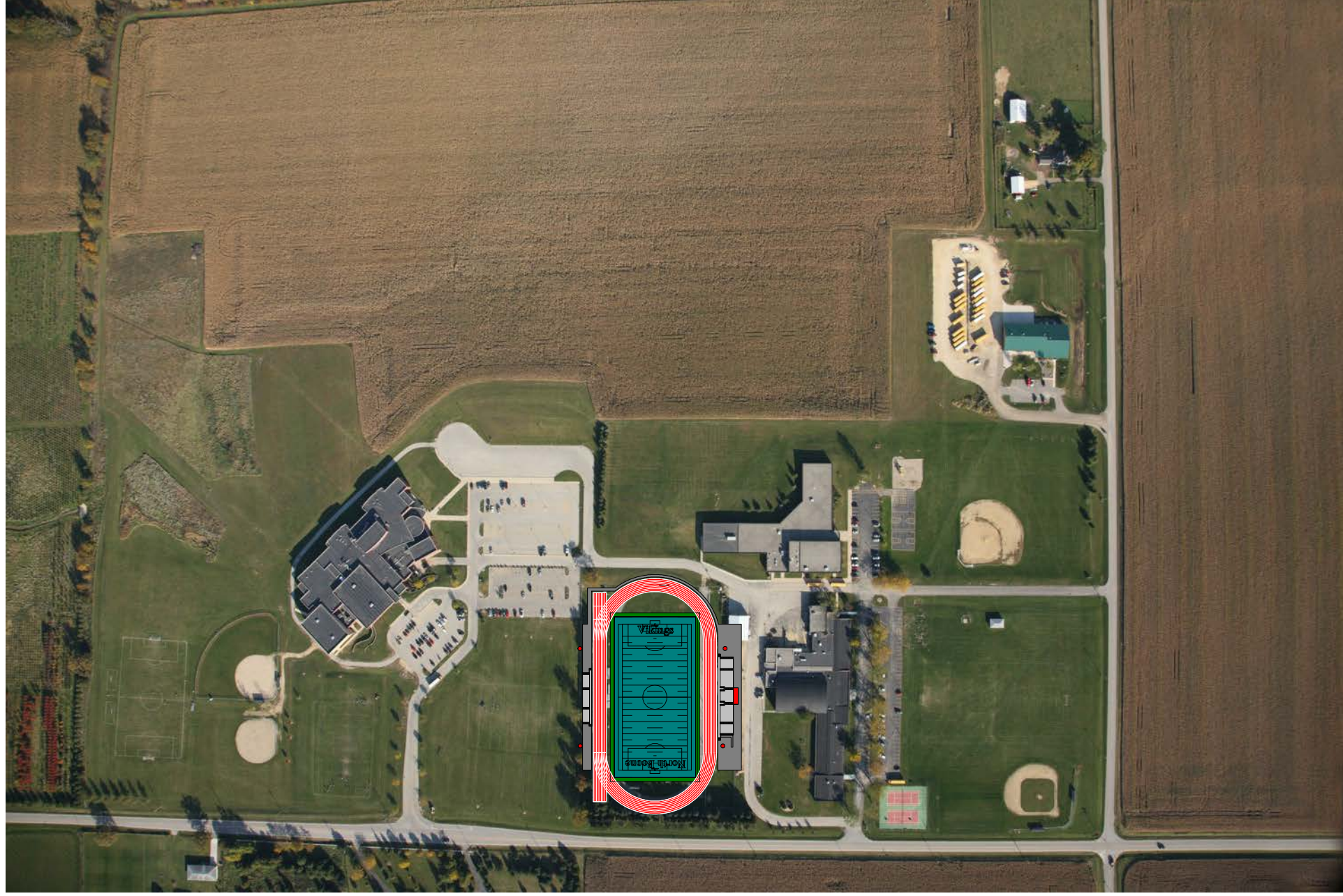
- Buildings
- Athletic facilities

Proximity to Middle School

- PE classes

Proximity to Upper Elementary School

- PE classes



① Concept A (Overall Site Plan)
1" = 300'-0"



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North Boone High School
North Boone Community Unit School District 200
6248 N. Boone Road, Poplar Grove, IL 61065

Date: 03/06/18

Project: CSG685

A



① Concept B (Overall Site Plan)
1" = 300'-0"



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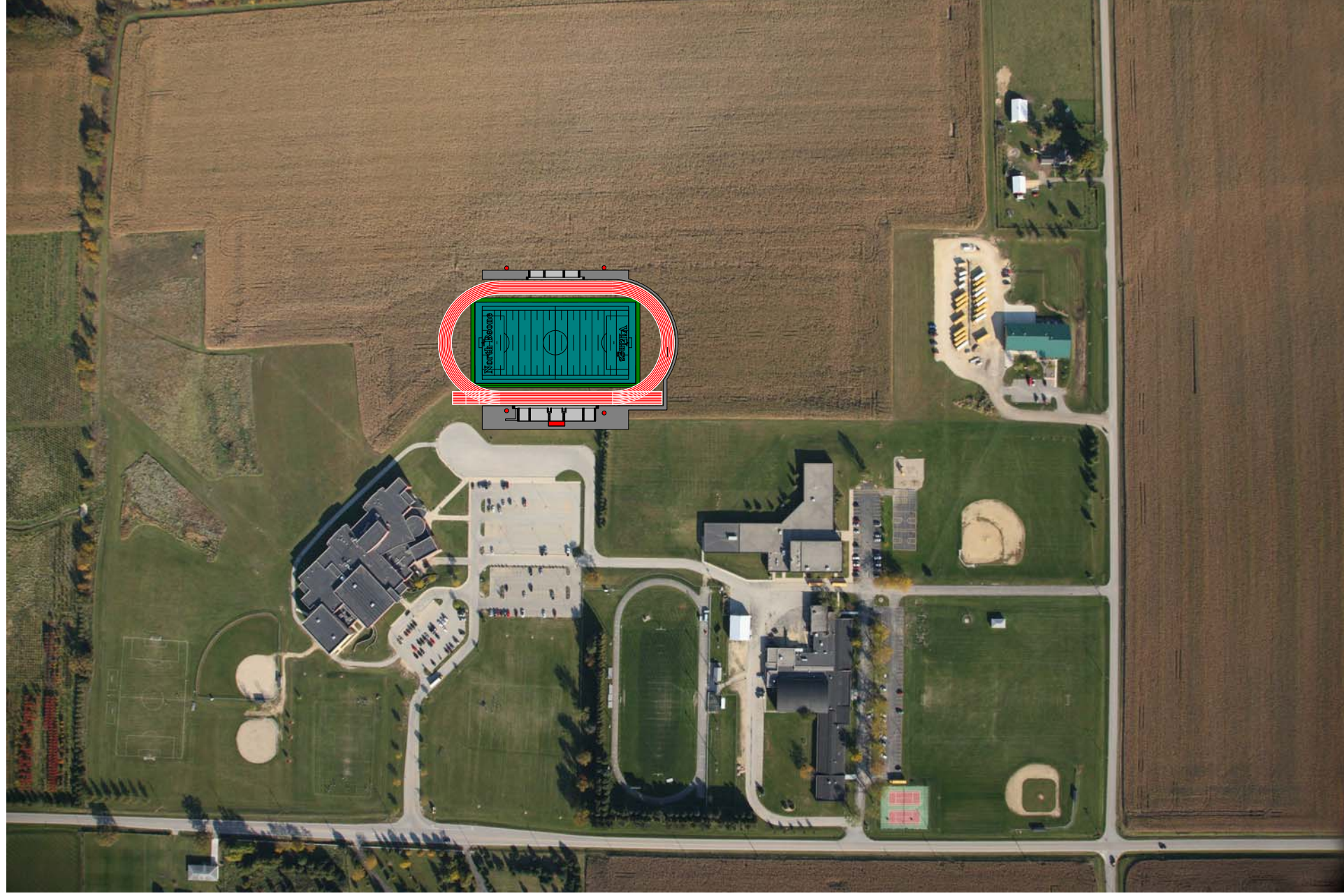
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North Boone Community Unit School District 200
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Client:

Date: 03/06/18

Project: CSG685

B



① Concept C (Overall Site Plan)
1" = 300'-0"



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Client:

Date: 03/06/18

Project: CSG685

C

Athletic Facilities Master Plan

Part Four - Athletic Facilities Design Concepts

Athletic Facilities Comparison / Evaluation

Athletic Facility Design Concepts

Athletic Facilities Improvements Summary

Design Concept C2.1

Drawing A401a (Varsity Complex)

Drawing A401b (Junior Varsity Complex)



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Athletic Facilities Master Plan
Athletic Facilities Comparison / Evaluation
March 14, 2022

Assumptions (All Concepts)

Synthetic turf field installed for new stadium
(Impacts field use and needs evaluation)

Stadium / Site Concept A1

To Be Determined

Stadium / Site Concept B1

Baseball /softball complex
Restroom/concession building for baseball/softball complex
Existing stadium field and track eliminated
Quantity of regulation soccer / football / practice fields (Reduced)
New stadium football/soccer field
Existing stadium football field and running track eliminated
Practice Field A relocated
Regulation size football field
Practice Field B eliminated
Soccer Field A relocated
Regulation size soccer/football field
Field relocated for improved storm water drainage
Existing baseball diamonds re-purposed for UE and MS PE classes
Varsity baseball diamond eliminated

One practice field eliminated until future master plan improvements work
Synthetic turf stadium field available for PE classes, team practices, and games



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Stadium / Site Concept B2

Varsity baseball/softball complex

Concessions/restrooms building for varsity complex

JV baseball/softball complex

Existing stadium field and track eliminated

Quantity of regulation soccer / football / practice fields (Reduced)

New stadium football/soccer field

Existing stadium football field and running track eliminated

Practice Field B eliminated

Soccer Field A eliminated

Existing baseball diamond(s) re-purposed for UE and MS PE classes.

Varsity baseball diamond eliminated

One practice field eliminated until future master plan improvements work

Synthetic turf stadium field available for PE classes, team practices, and games



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Stadium Site Concept C1 (Drawing A304)

Baseball complex

Softball complex

Stadium restroom/concession building shared with baseball

Restroom / concession building for softball

Quantity of regulation soccer / football / practice fields (Increased)

New stadium football/soccer field

Existing stadium football field and running track retained

(PE classes / Practice / Games)

Soccer Field A relocated

Regulation size soccer/football field

Field relocated for improved storm water drainage

Existing baseball diamonds re-purposed for UE and MS PE classes

Stadium construction has no short term impact on existing athletic facilities.

Synthetic turf stadium field available for PE classes, team practices, and games

Stadium Site Concept C1a (Drawing A305)

Baseball complex

Softball complex

Stadium restroom/concession building shared with baseball

Restroom / concession building for softball

Quantity of regulation soccer / football / practice fields (Increased)

New stadium football/soccer field

Existing stadium field and track retained

(PE classes / Practice / Games)

Soccer Field A eliminated

Practice Field A (non-regulation football) unchanged

Existing baseball diamonds re-purposed for UE and MS PE classes.

Stadium construction has no short term impact on existing athletic facilities.

Synthetic turf stadium field available for PE classes, team practices, and games



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Stadium Site Concept C2 (Drawing A306)

Stadium/complex located further south
Varsity softball/baseball complex
JV softball/baseball complex
Stadium restroom/concession building shared with varsity complex
JV softball/baseball portable toilets (no concessions)

Quantity of regulation soccer / football / practice fields (Increased)

New stadium football/soccer field
Existing stadium field and track retained
(PE classes / Practice / Games)
Soccer Field A eliminated
Practice Field A (non-regulation football) unchanged
Existing baseball diamonds re-purposed for UE and MS PE classes

Stadium construction has no short term impact on existing athletic facilities.
Synthetic turf stadium field available for PE classes, team practices, and games

Stadium / Site Concept C2a (Drawing A307)

Future additional parking options
(Existing Parking - 450 designated/non ADA)
(Zoning Ordinance Capacity - 1800)
Bus drop off loop relocation
Future parking / building addition flexibility

Stadium / Site Concept C2b (Drawing A308)

Varsity baseball diamond eliminated or relocated (PE Classes)?
Reconfiguration of UE playgrounds / vehicle drive and parking
Vehicle / student separation for safety
Bus parking lot and storm water detention capacity expansion
Future tennis courts?



① Overall Site Plan (Existing)
1" = 300'-0"



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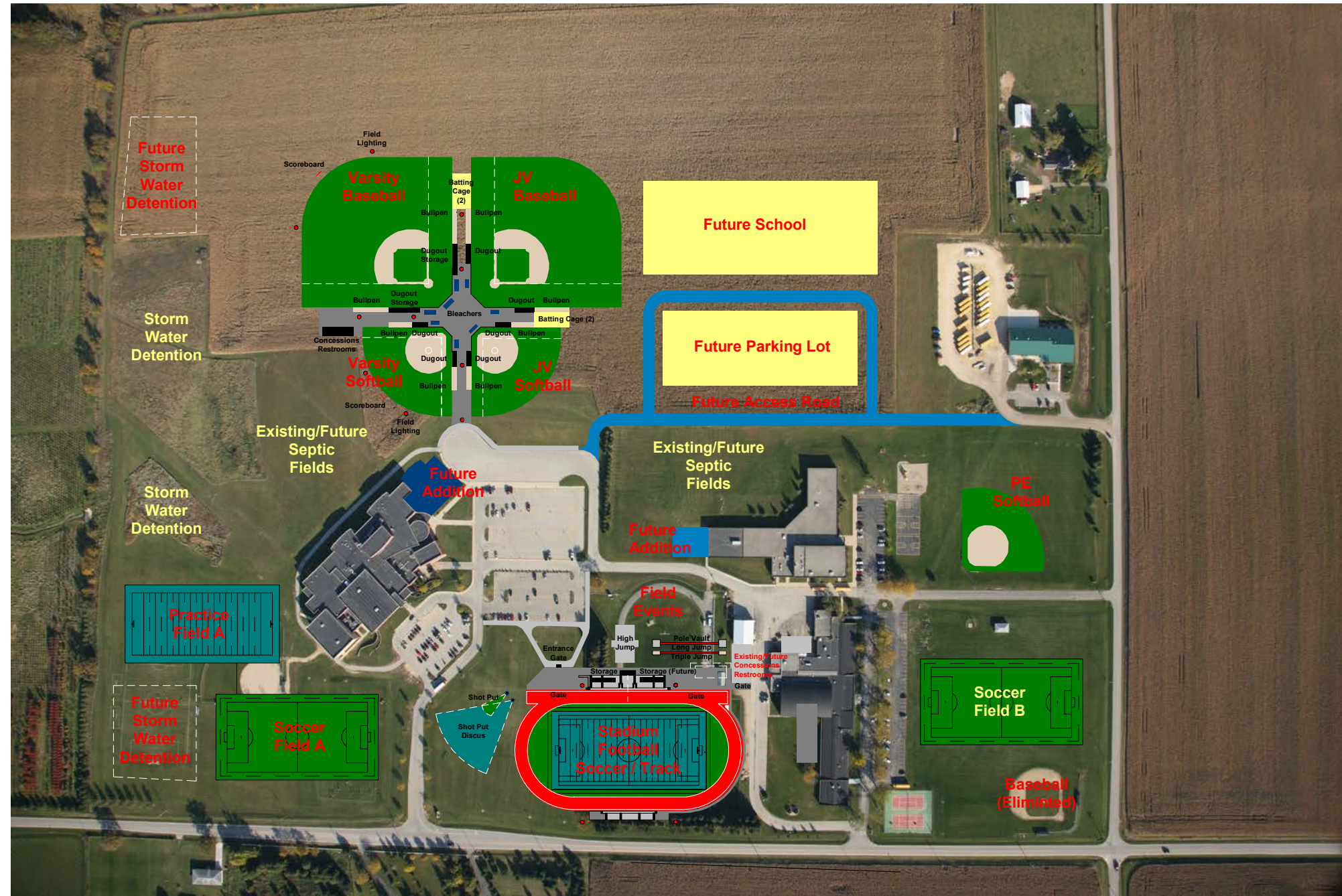
Stadium Study
North Boone High School
North Boone Community Unit School District 200
6248 N. Boone Road, Poplar Grove, IL 61065

Client:


Date: 02/22/22

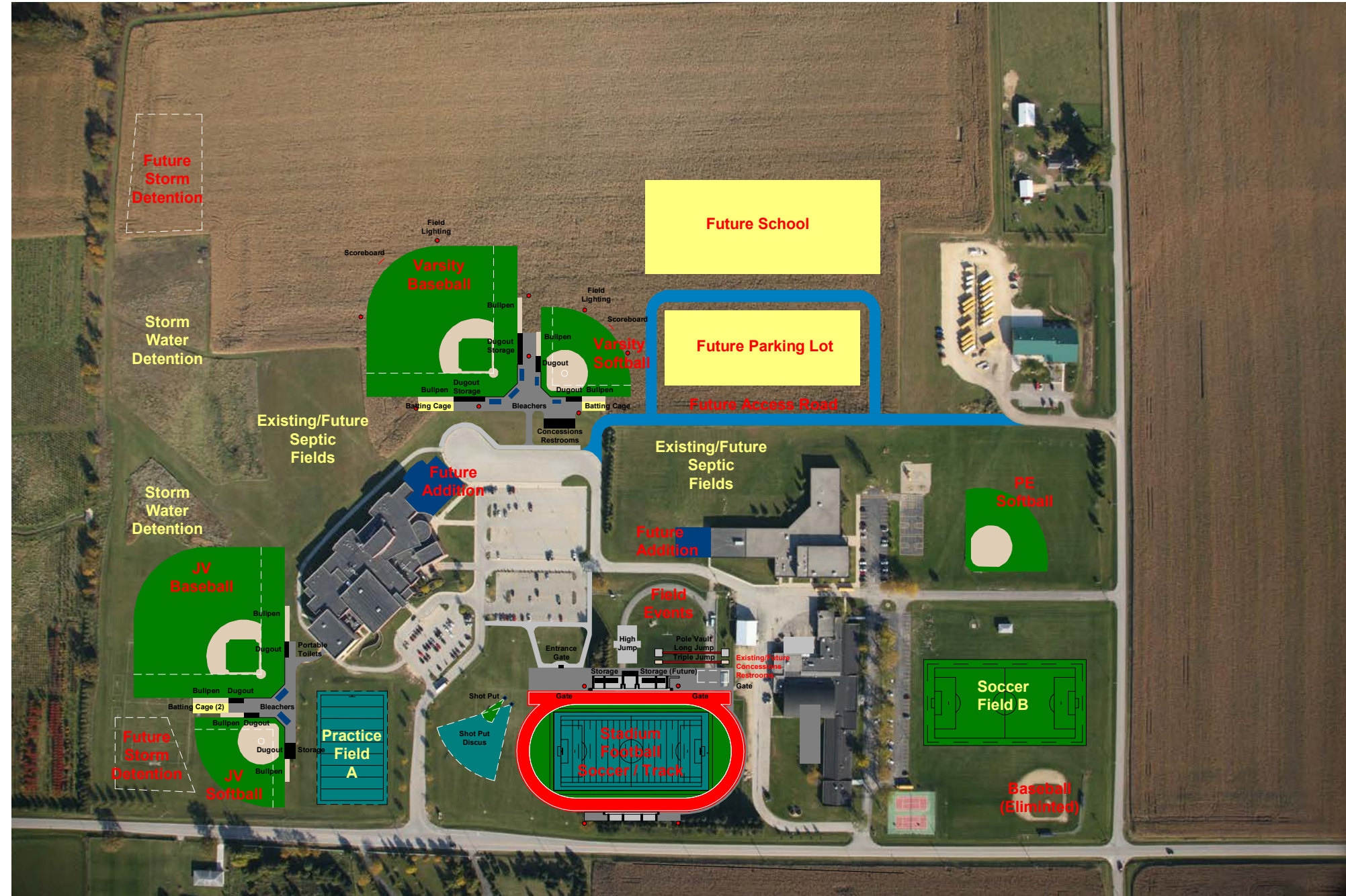
Project: CSG685

A100



① Overall Site Plan (Site Concept B1)
1" = 300'-0"

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① Overall Site Plan (Site Concept B2)
1" = 300'-0"

Date: 02/22/22
Project: CSG685
A303


Project: Stadium Study
North Boone High School
Client: North Boone Community Unit School District 200
6248 N. Boone Road, Poplar Grove, IL 61065

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① Overall Site Plan (Site Concept C1)
1" = 300'-0"

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① Overall Site Plan (Site Concept C1a)
1" = 300'-0"

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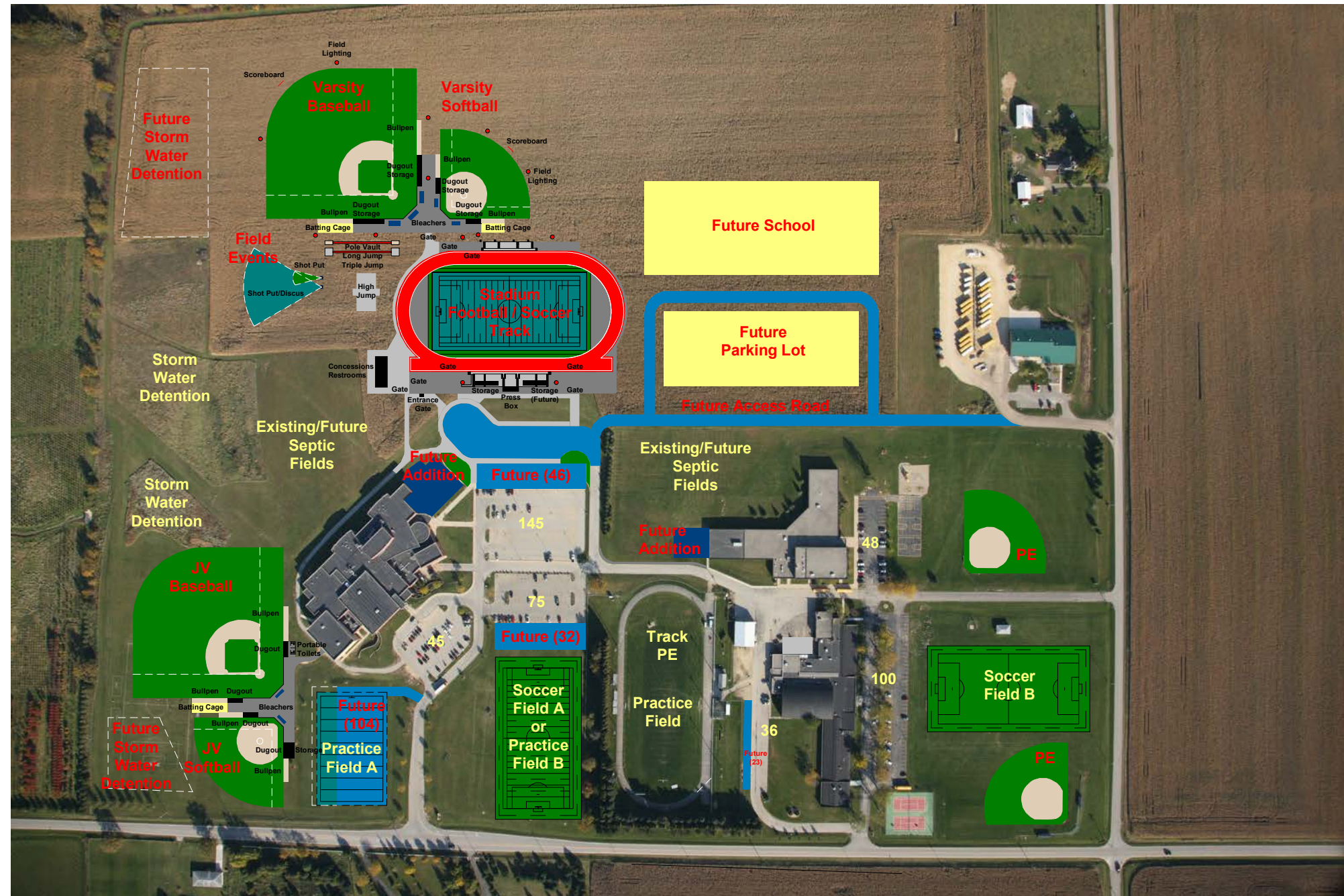
① Overall Site Plan (Site Concept C2)
1" = 300'-0"

Date: 02/22/22
Project: CSG685
A306


Project: Stadium Study
North Boone High School
Client: North Boone Community Unit School District 200
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① Overall Site Plan (Site Concept C2a)
1" = 300'-0"

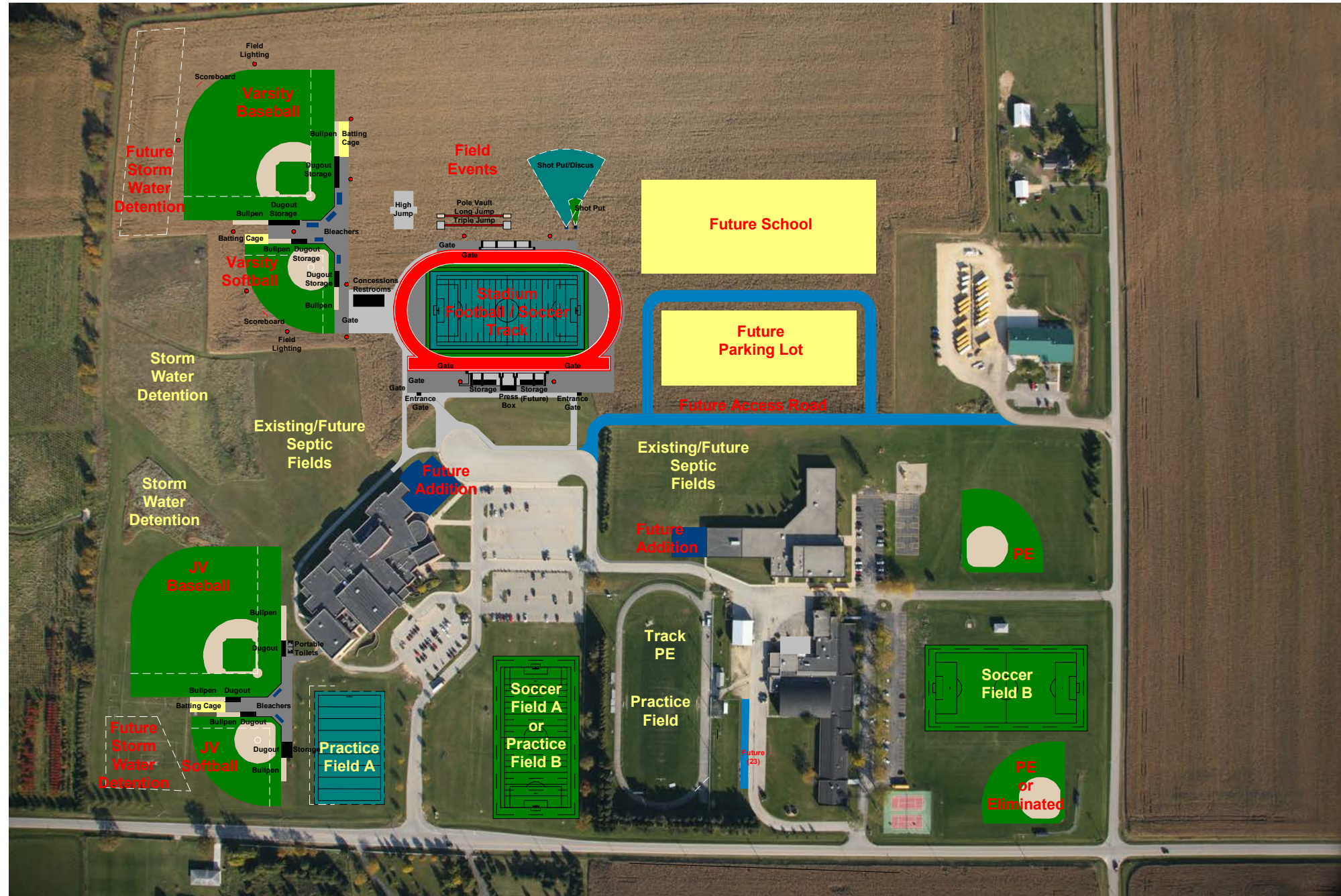
Cashman Stahler Group 1910 S. Highland Avenue, Suite 310 Lombard, Illinois 60148 T: 630-889-8800	Project: Stadium Study North Boone High School North Boone Community Unit School District 200 6248 N. Boone Road, Poplar Grove, IL 61065	Date: 02/22/22 Project: CSG685 A307
		



① Overall Site Plan (Site Concept C2b)
1" = 300'-0"

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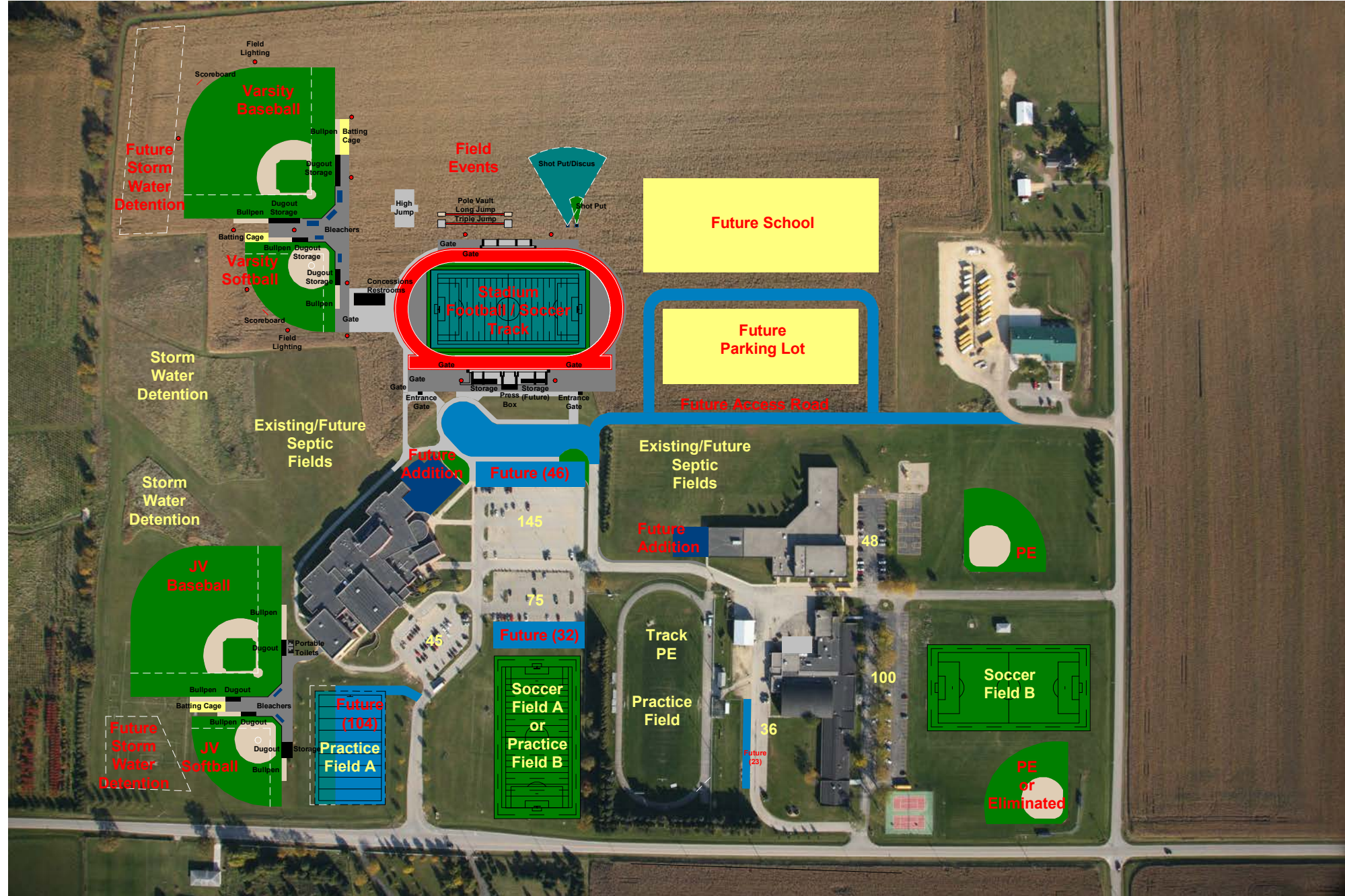





① Overall Site Plan (Site Concept C2.1)
1" = 300'-0"

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	Client: North Boone Community Unit School District 200 6248 N. Boone Road, Poplar Grove, IL 61065	A401



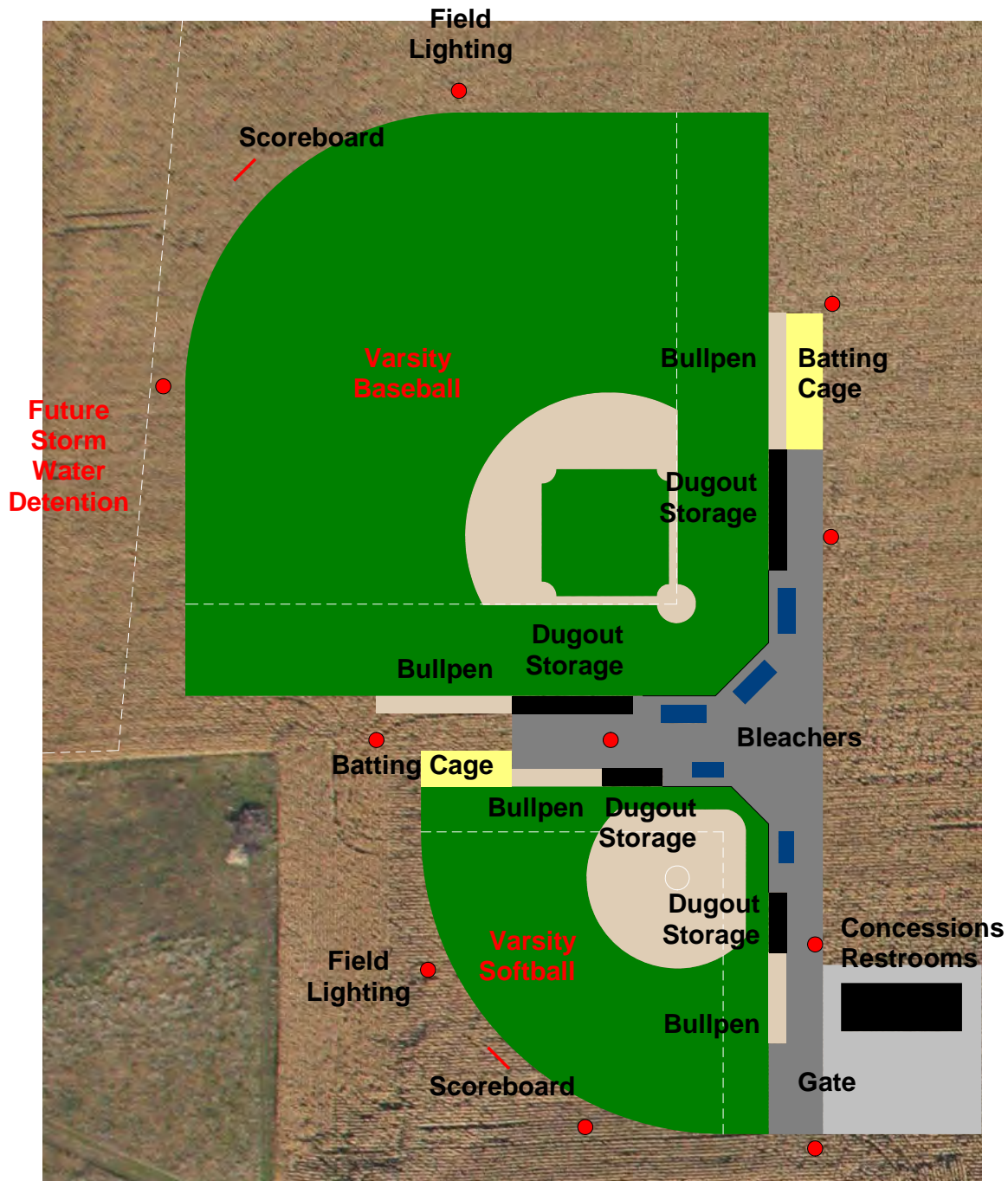


① Overall Site Plan (Site Concept C2.2)
1" = 300'-0"

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Athletic Facilities Master Plan
Athletic Facilities Improvements Summary
 03/14/2022

Athletic Facility	Baseball Varsity	Baseball JV	Softball Varsity	Softball JV	Soccer Practice	Football Practice
Baseball						
Turf (Natural / Synthetic)	Natural	Natural	Natural	Natural	Natural	Natural
Dugout/Storage (Masonry Walls / Roof)	2	2	2	2		
Dugout (Chainlink Fencing / Roof)	1	1	1	1		
Batting Cage	X	X	X	X		
Fencing / Backstop (Fixed)	X	X	X	X		
Scoreboard	X					
Lighting (Alternate)	X		X			
Water Service / Hose Bibb	X (Shared)	X (Shared)	X (Shared)	X (Shared)	X (Shared)	X (Shared)
Bottle Fill / Drinking Fountain	X (Shared)	X (Shared)	X (Shared)	X (Shared)		
Electrical Service	X	X	X	X		
Bleachers (Portable) / Concrete Pad and Walkway	X	X	X	X		
Portable Restrooms (Fence/Concrete Pad/Walkway)	X (Shared)	X (Shared)	X (Shared)	X (Shared)		
Storage (Athletic / Maintenance)	X (Shared)	X (Shared)	X (Shared)	X (Shared)		
Restroom/Concessions Building	X (Shared)	X (Shared)	X (Shared)	X (Shared)		
Irrigation System	X		X			



Overall Site Plan (Site Concept C2.1)

Varsity Complex

1" = 100'-0"



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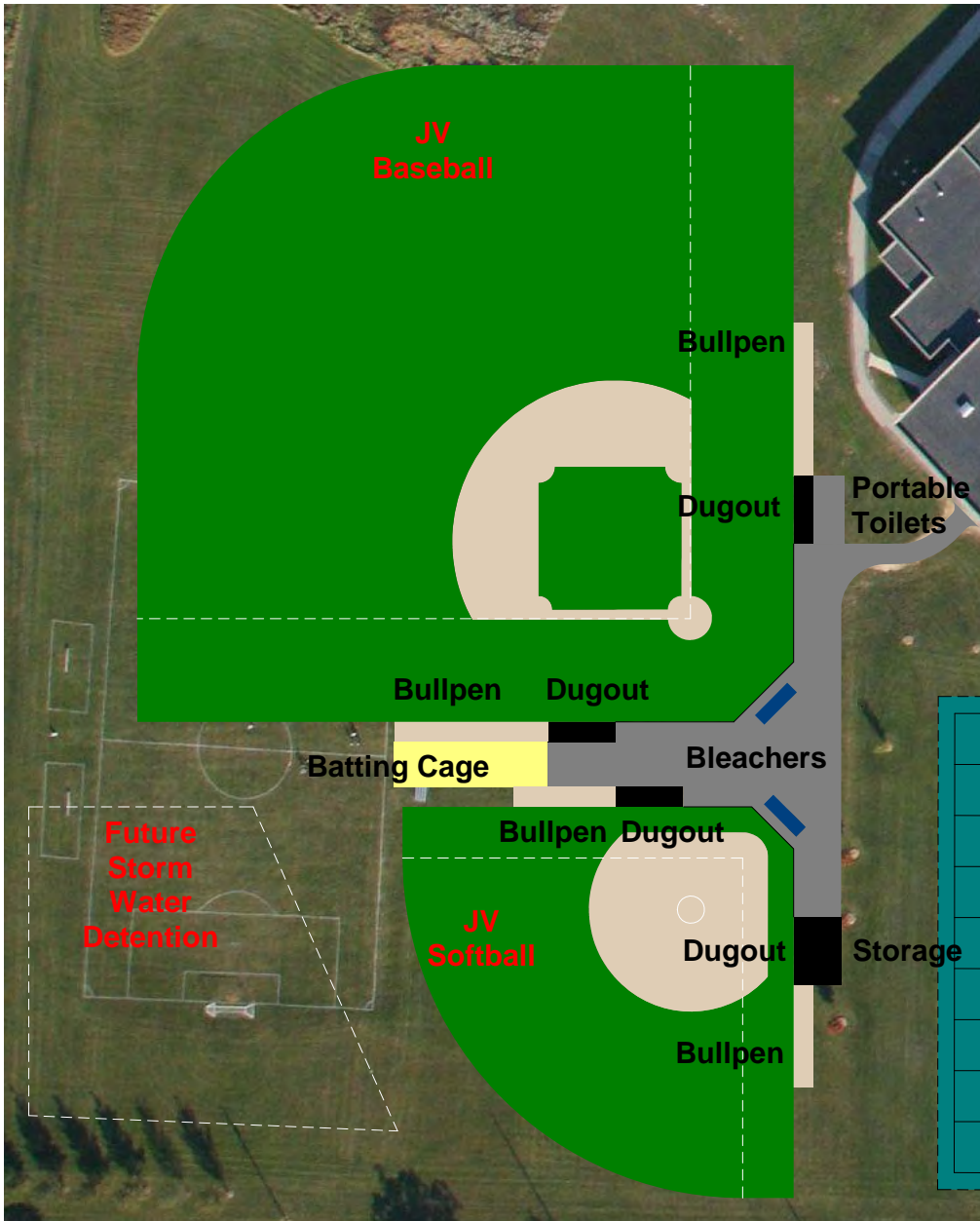
Stadium Concept C2.1
 Athletic Facility Master Plan

North Boone Community Unit School District 200
 Poplar Grove, Illinois

Date: 05/31/22

Project: CSG685

A401a



Overall Site Plan (Site Concept C2.1)

Junior Varsity Complex

① 1" = 100'-0"



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Stadium Concept C2.1
Athletic Facility Master Plan

North Boone Community Unit School District 200
Poplar Grove, Illinois

Date: 05/31/22

Project: CSG685

A401b

Athletic Facilities Master Plan

Part Five - Scope Documentation / Resources

Civil Engineering Scope Drawings

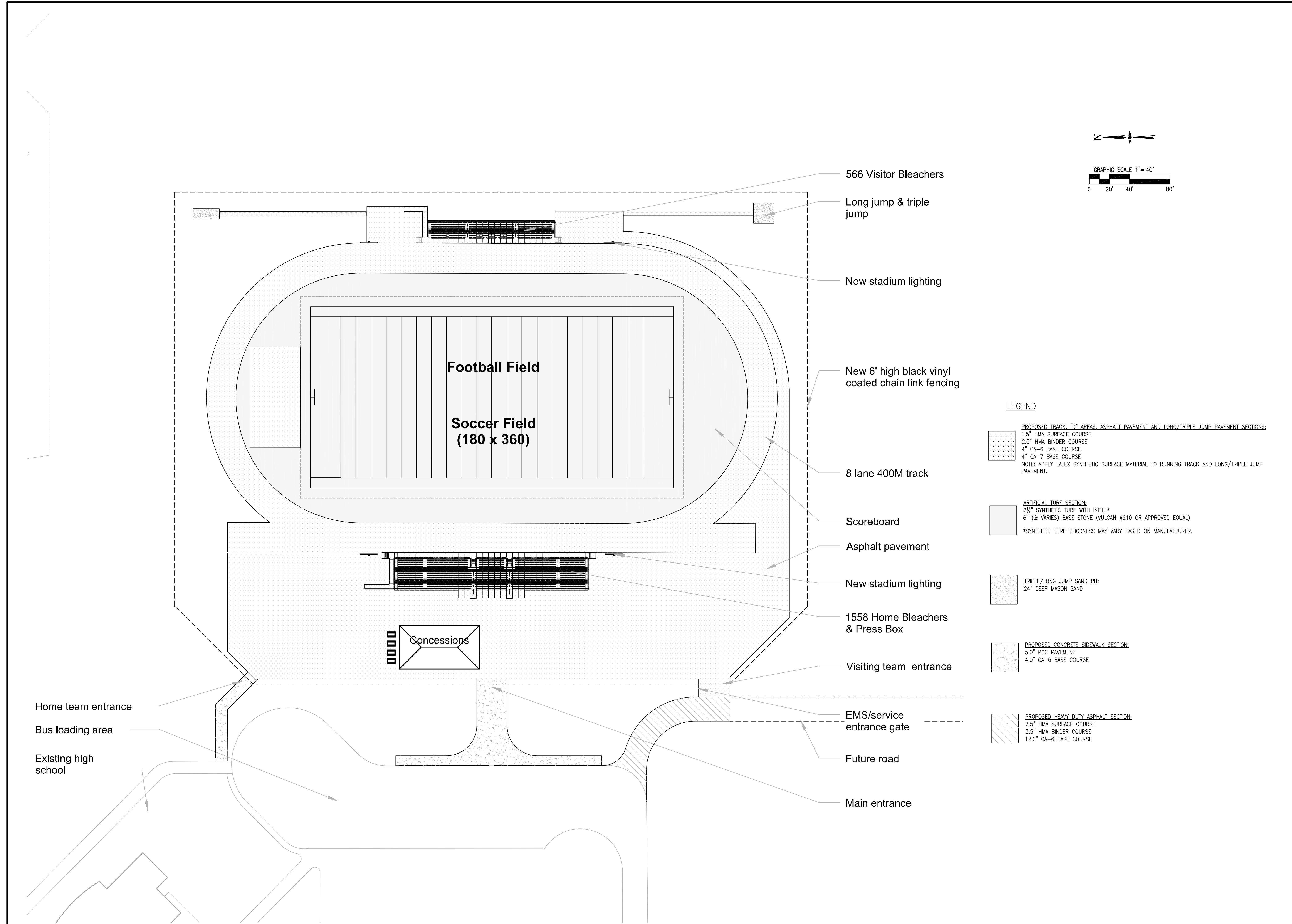
Bleacher Scope Drawings

Concessions/Restroom Building Drawing

Stadium Programming Questionnaire (Dated 10/23/12)



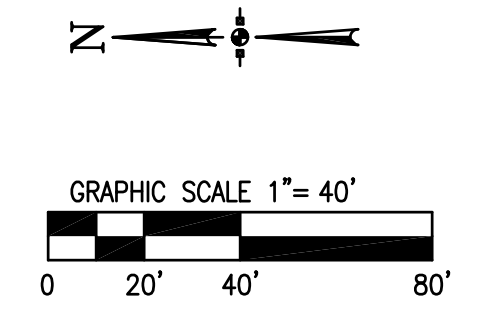
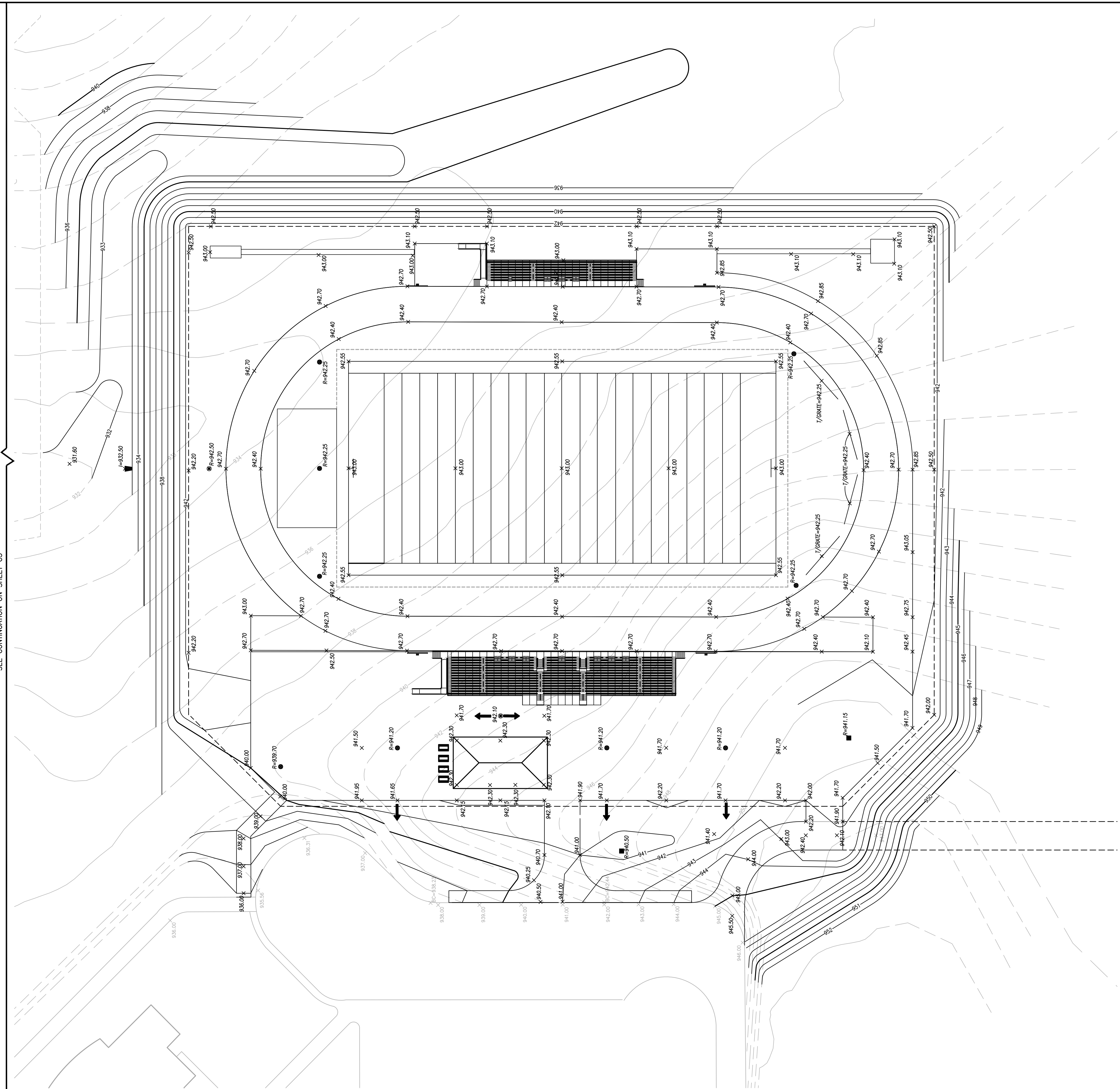
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CONCEPTUAL DIMENSIONAL CONTROL AND PAVING PLAN		No.	Date
NORTH BOONE HIGH SCHOOL STADIUM		12/20/12	12/20/12
CASHMAN STAHLER GROUP		CONCEPT PLAN	CONCEPT PLAN
POPLAR GROVE, ILLINOIS		Description	Description
JACOB & HEFNER ASSOCIATES, INC. ENGINEERS • SURVEYORS 1910 S. Highland Avenue, Suite 100 Lombard, IL 60148 PHONE: (630) 652-4600 FAX: (630) 652-4601		E956 1" = 40' C3	

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SEE CONTINUATION ON SHEET C5



GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 3) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 4) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.

No.	Description	Date
	CONCEPT PLAN	12/14/12
	REVISED CONCEPT PLAN	12/20/12

CONCEPTUAL GRADING PLAN
NORTH BOONE HIGH SCHOOL STADIUM
CASHMAN STAHLER GROUP
POPLAR GROVE, ILLINOIS

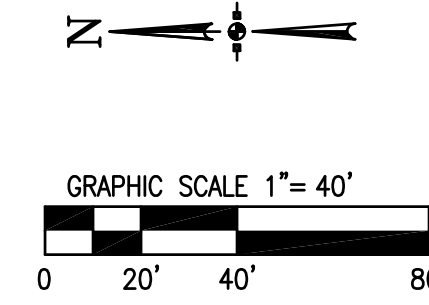
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1" = 40'

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GRADING NOTES

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- 2) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 3) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
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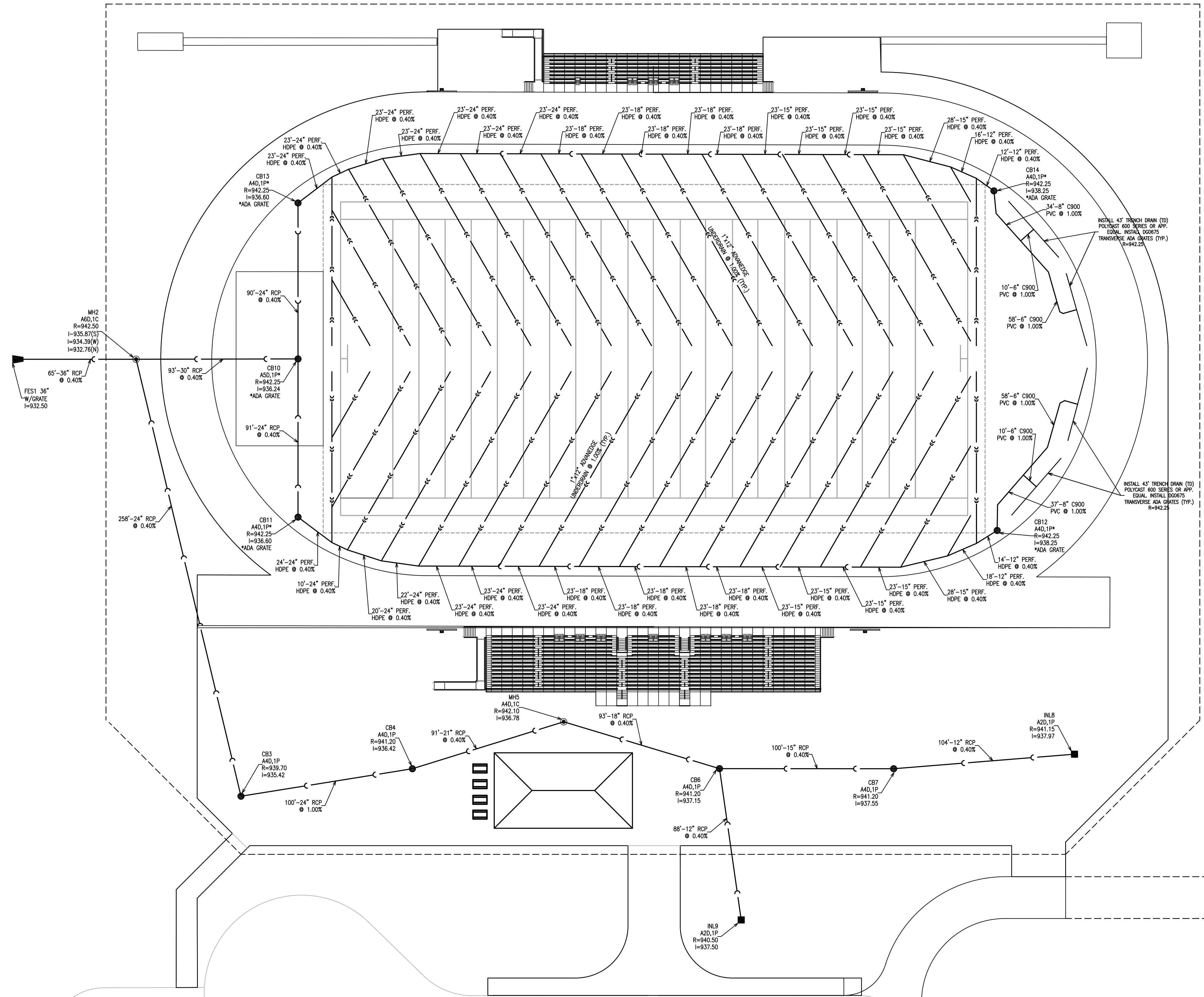
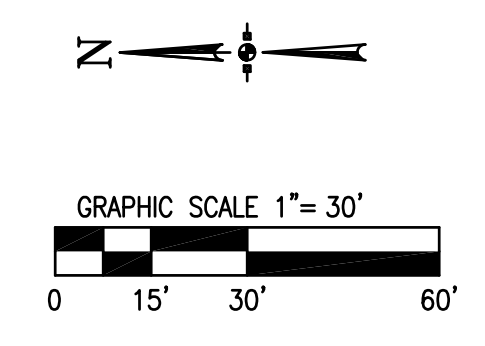
No.	Description	Date
12/20/12	REVISED CONCEPT PLAN	
12/14/12	CONCEPT PLAN	

CONCEPTUAL GRADING PLAN
NORTH BOONE HIGH SCHOOL STADIUM
CASHMAN STAHLER GROUP
POPLAR GROVE, ILLINOIS

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REVISED CONCEPT PLAN	12/20/12	Date
CONCEPT PLAN	12/14/12	No.



GENERAL UTILITY NOTES

- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5-FT OUTSIDE BUILDING UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- ALL EXISTING UTILITY RIMS, GRADES RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- ALL UTILITY TRENCHES BENEATH PROPOSED PAVEMENT, DRIVEWAYS, APRONS AND SIDEWALK SHALL BE BACKFILLED WITH SELECTED GRANULAR TRENCH BACKFILL MATERIAL AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS.

STORM SEWER NOTES

STORM STRUCTURE SYMBOL LEGEND:
 INL=INLET
 CB=CATCH BASIN
 M=MANHOLE

FRAME AND GRATE/LID SYMBOL LEGEND:
 1C: IDOT TYPE 1 (CLOSED), NEENAH R1713, EJIW 105021
 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EJIW 105021 (TYPE M3 GRATE)

- EXAMPLE:
 M36
 A4D,1P
 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL 12-INCH AND 15-INCH RCP SHALL BE CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.
 - ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE--DRAINS TO WATERWAYS" MESSAGE.

CONCEPTUAL UTILITY PLAN
 NORTH BOONE HIGH SCHOOL STADIUM
 CASHMAN STAHLER GROUP
 POPLAR GROVE, ILLINOIS

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12/20/12	REVISED CONCEPT PLAN	No.
12/14/12	CONCEPT PLAN	Description

DETAILS

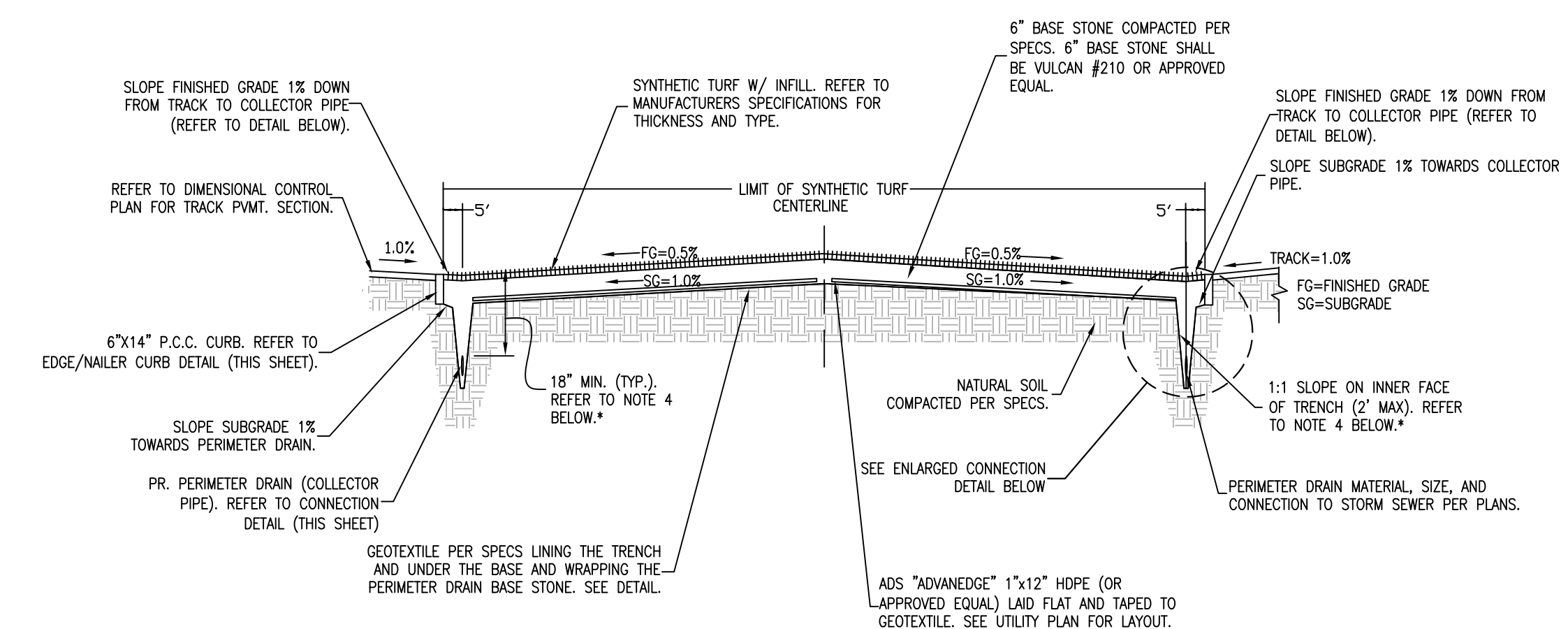
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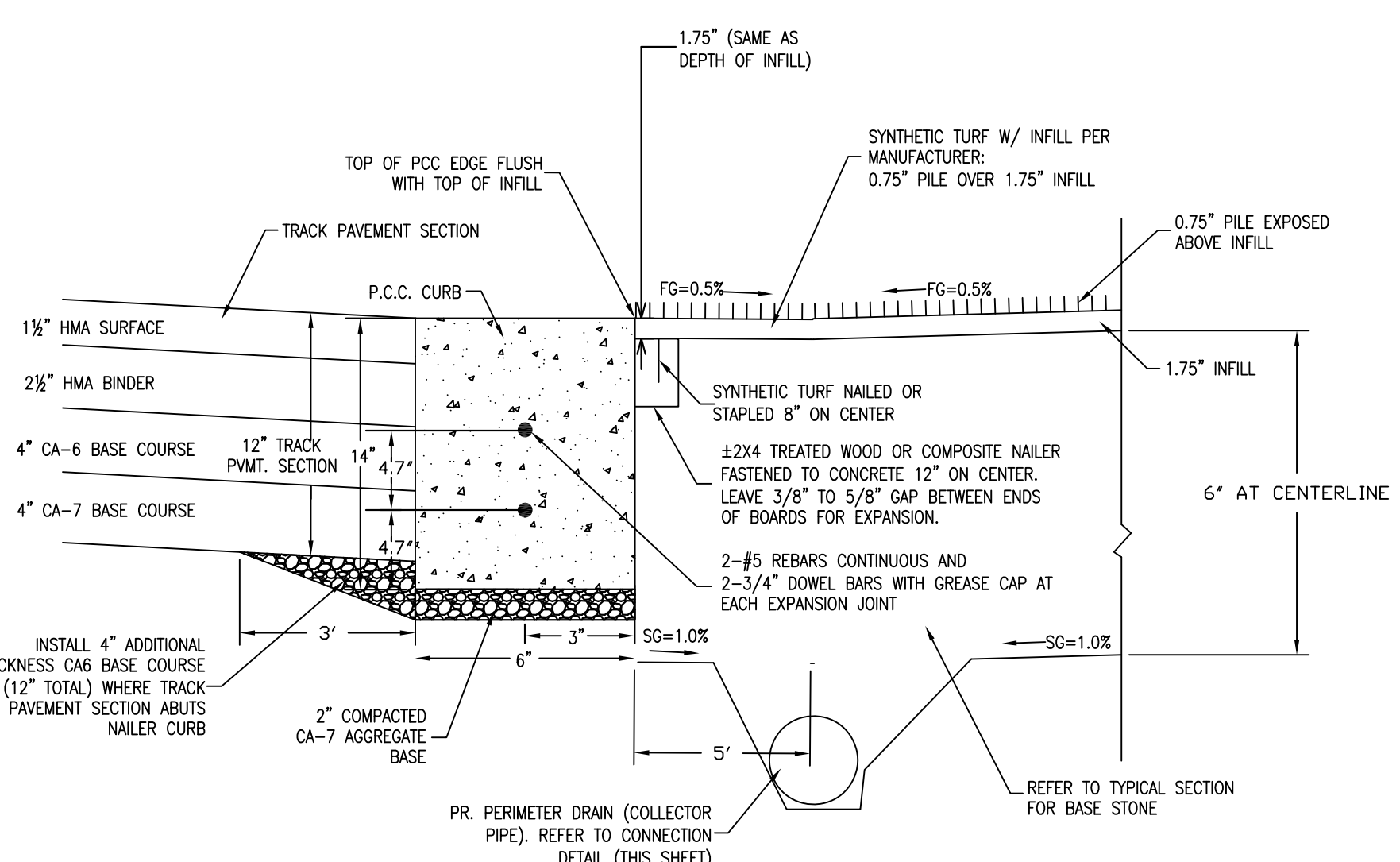
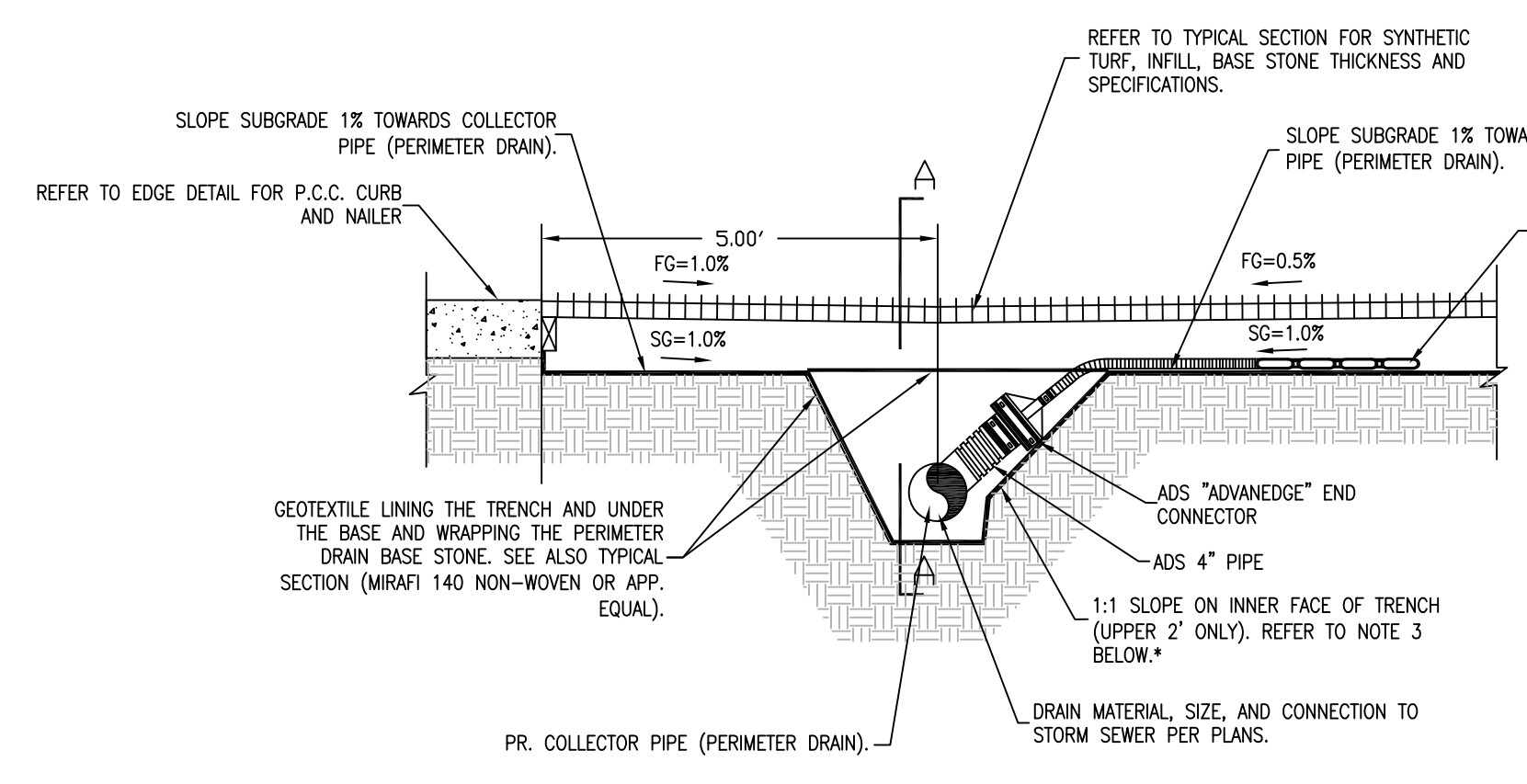
SYNTHETIC TURF DETAILS



- NOTES:**
- 1) STONE BASE SHALL BE GRADED TO WITHIN 1/8" OF DESIGN GRADE AND WITHIN 1/4" IN 10'-FT.
 - 2) GEOTEXTILE FABRIC SHALL CONSIST OF MINIMUM 4-OZ. NON WOVEN MATERIAL (MIRAFI 140 OR APPROVED EQUAL).
 - 3) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SPECIFICATIONS WITH TURF MANUFACTURER PRIOR TO CONSTRUCTION.
 - 4) *MIN. 18" COVER SHALL BE PROVIDED ABOVE TOP OF COLLECTOR (PERIMETER) PIPE.

TYPICAL FIELD CROSS-SECTION

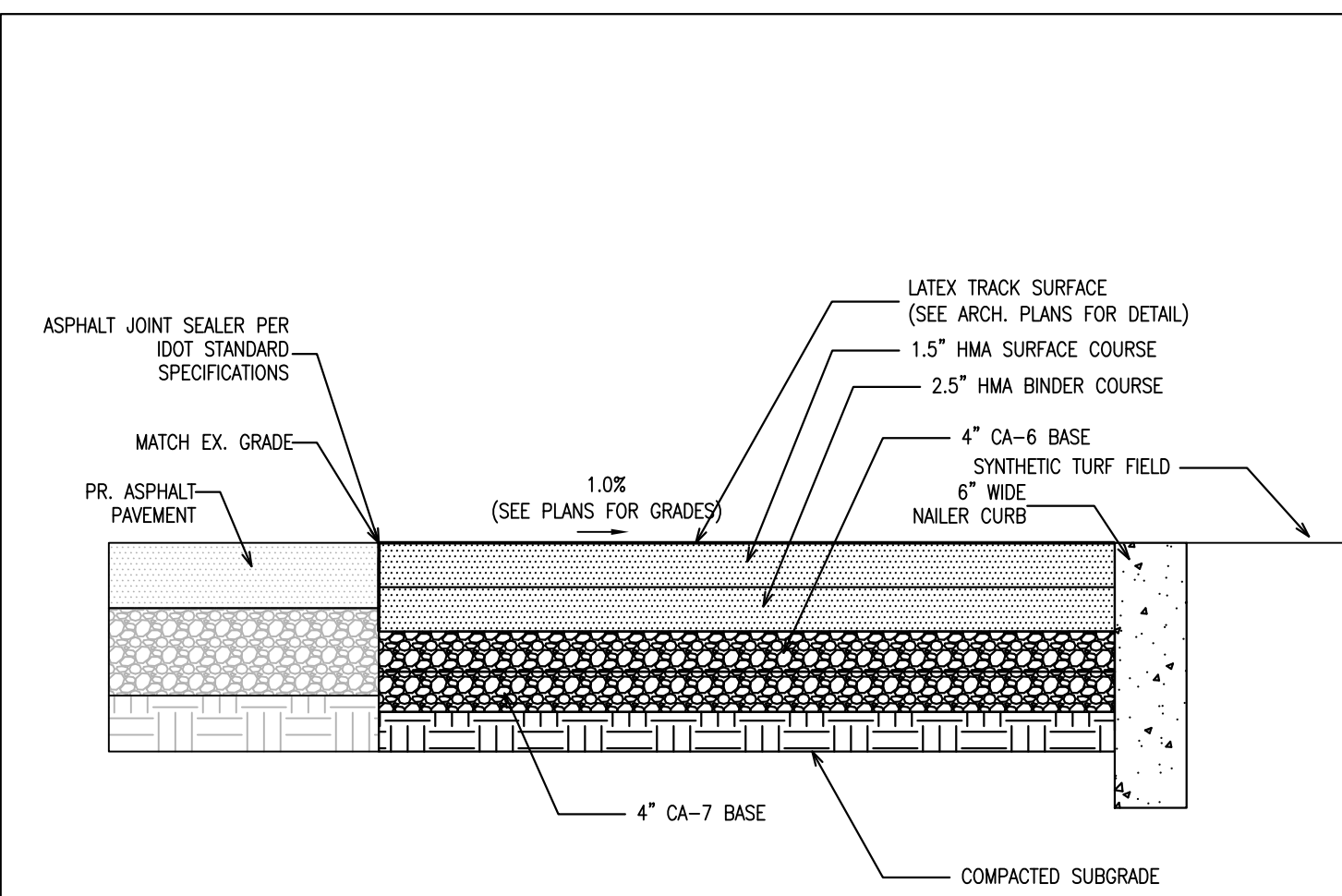
NOT TO SCALE



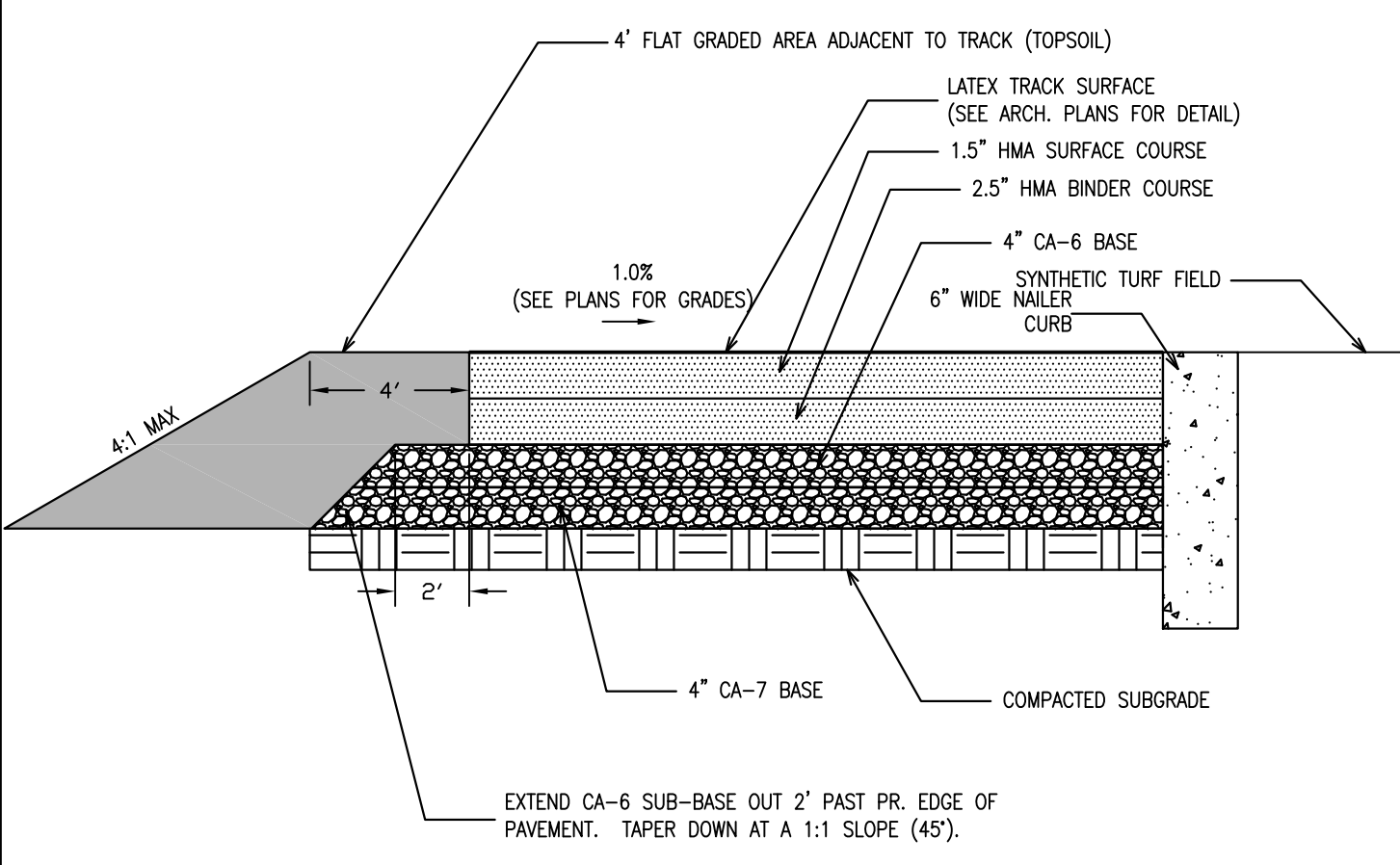
- NOTES:**
- 1) PLACE 3/4" PREMOULDED FIBRE EXPANSION JOINTS AT 50' CENTERS.
 - 2) SAW CONTRACTION JOINTS EVERY 10' BETWEEN EXPANSIONS. SAWCUTS SHALL BE MADE TO THE DEPTH OF 3" WITHIN 24 HRS OF PLACEMENT AND SEALED WITH AN APPROVED JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.
 - 3) CONTRACTOR SHALL VERIFY ALL EDGE AND NAILER DIMENSIONS AND SPECIFICATIONS WITH TURF MANUFACTURER PRIOR TO CONSTRUCTION.
 - 4) CONTRACTOR SHALL VERIFY INFILL AND PILE DIMENSIONS WITH PROJECT SPECIFICATIONS AND TURF MANUFACTURER PRIOR TO INSTALLATION.
 - 5) FG=FINISHED GRADE
SG=SUBGRADE
FG (SHOWN ON GRADING PLAN)=TOP OF INFILL
FG-1.75"=TOP OF STONE

NAILER CURB DETAIL

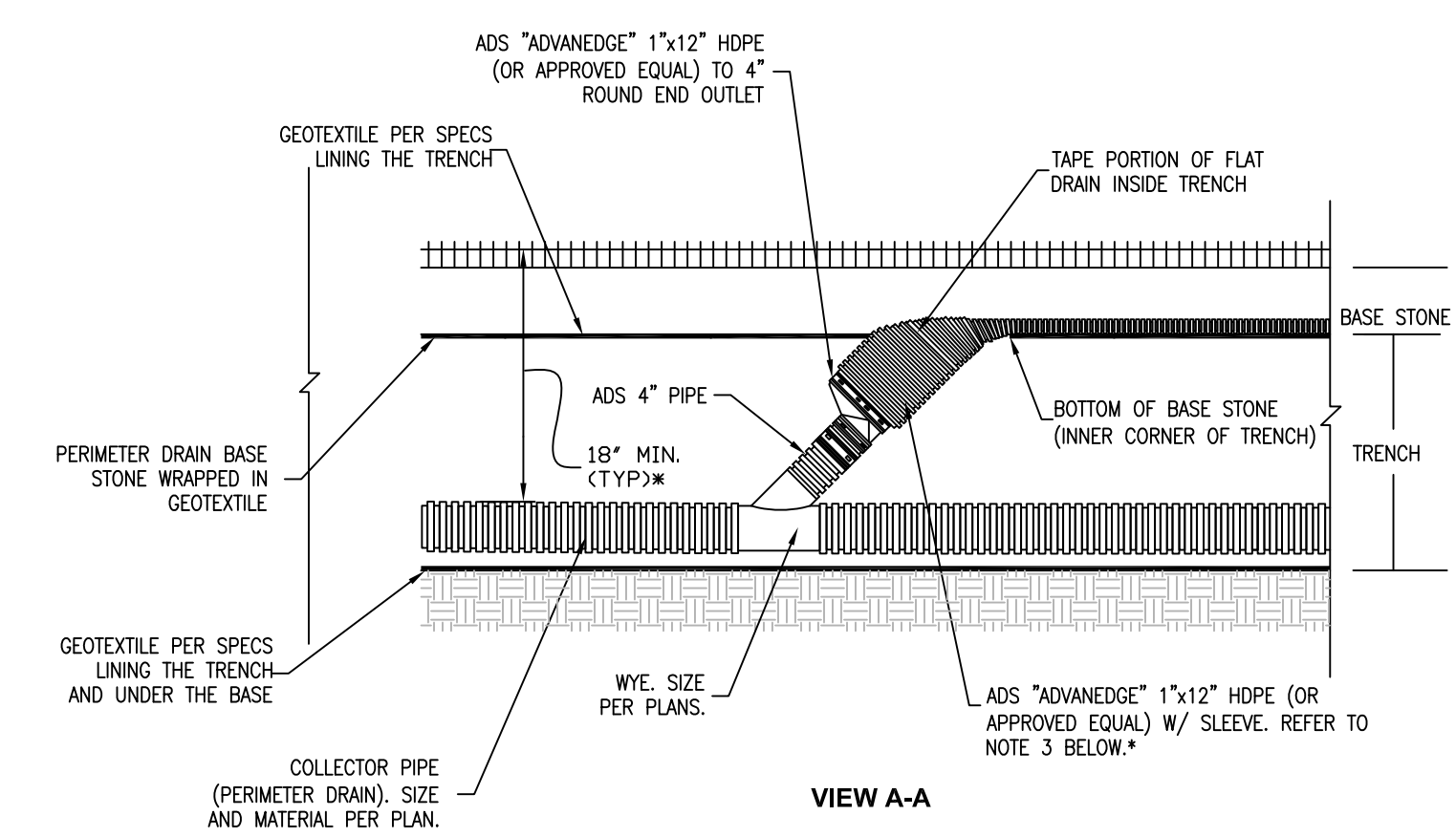
NOT TO SCALE



RUNNING TRACK SECTION (EXTERIOR OF TRACK ABUTS PAVEMENT) N.T.S.



RUNNING TRACK SECTION (EXTERIOR OF TRACK ABUTS GREEN AREA) N.T.S.



- NOTES:**
- 1) GEOTEXTILE FABRIC SHALL CONSIST OF MINIMUM 4-OZ. NON WOVEN MATERIAL (MIRAFI 140 OR APPROVED EQUAL).
 - 2) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SPECIFICATIONS WITH TURF MANUFACTURER PRIOR TO CONSTRUCTION.
 - 3) *MIN. 18" COVER SHALL BE PROVIDED ABOVE TOP OF COLLECTOR (PERIMETER) PIPE.

CONNECTION BETWEEN DRAIN TILE AND PERIMETER DRAIN

NOT TO SCALE

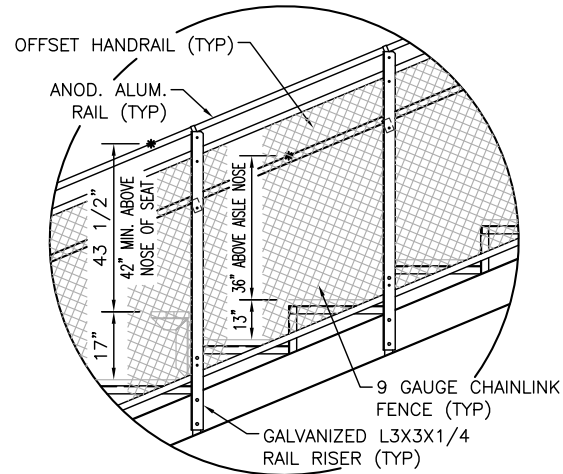
DESIGN LOADING

TREAD & SEAT AREA 100psf UNIFORM LIVE LOAD.
 SEAT (VERTICAL) 120 lbs/lf.
 SEAT (HORIZONTAL SWAY) 24lbs/lf PARALLEL AND 10lbs/lf PERPENDICULAR TO SEAT.

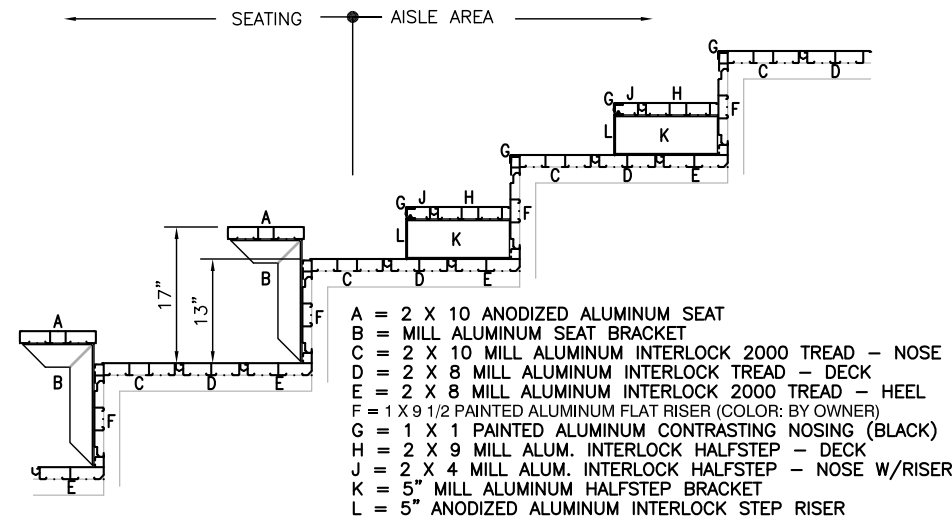
HANDRAIL & GUARDRAIL 50 lbs/lf IN ANY DIRECTION.
 HANDRAIL & GUARDRAIL 200 lbs CONCENTRATED IN ANY DIRECTION.
 SNOW LOADS AS PER STATE ADOPTED CODE
 WIND LOADS AS PER STATE ADOPTED CODE
 SEISMIC LOADS AS PER STATE ADOPTED CODE

NOTES

- 1 ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING A.I.S.C. STANDARDS
 PLATE UP TO 1/2" THICK = A36
 PLATE U.N.O. = A572 GRADE 50
 ANGLE = A36/A36M GRADE 50
 WIDE FLANGE = A992 Fy=50 ksi
 CHANNEL = A36/A36M GRADE 50
 ROD = A36/A529 GRADE 50
 TUBE = A500 GRADE "B" 46 ksi
- 2 WELDS ARE ALL AROUND WITH TYPE ER70S-6 WIRE MIG.
- 3 ALL STEEL TO BE HOT DIPPED GALVANIZED TO A.S.T.M. A-123-89 ae1.
- 4 STRUCTURAL BOLTS ARE HOT DIPPED GALV. AND ARE EQUAL TO OR GREATER THAN A-307.
- 5 NO CONNECTIONS UTILIZING HIGH STRENGTH BOLTS ARE CLASSED AS SLIP CRITICAL.
- 6 ANODIZED ALUMINUM RAIL IS 1 1/4" NOMINAL PIPE SIZE. (1 5/8" O.D.)
- 7 SOUTHERN BLEACHER COMPANY AS A MANUFACTURER AND INSTALLER OF GRANDSTAND SEATING IS NOT AUTHORIZED TO CERTIFY PLANS AS ADA COMPLIANT. HOWEVER, TO THE BEST OF OUR KNOWLEDGE THESE PLANS MEET OR EXCEED ADA REQUIREMENTS FOR QUANTITY OF ADA SEATING, ACCESS/EGRESS TO ADA SEATING, & DISPERSAL OF ADA SEATING.

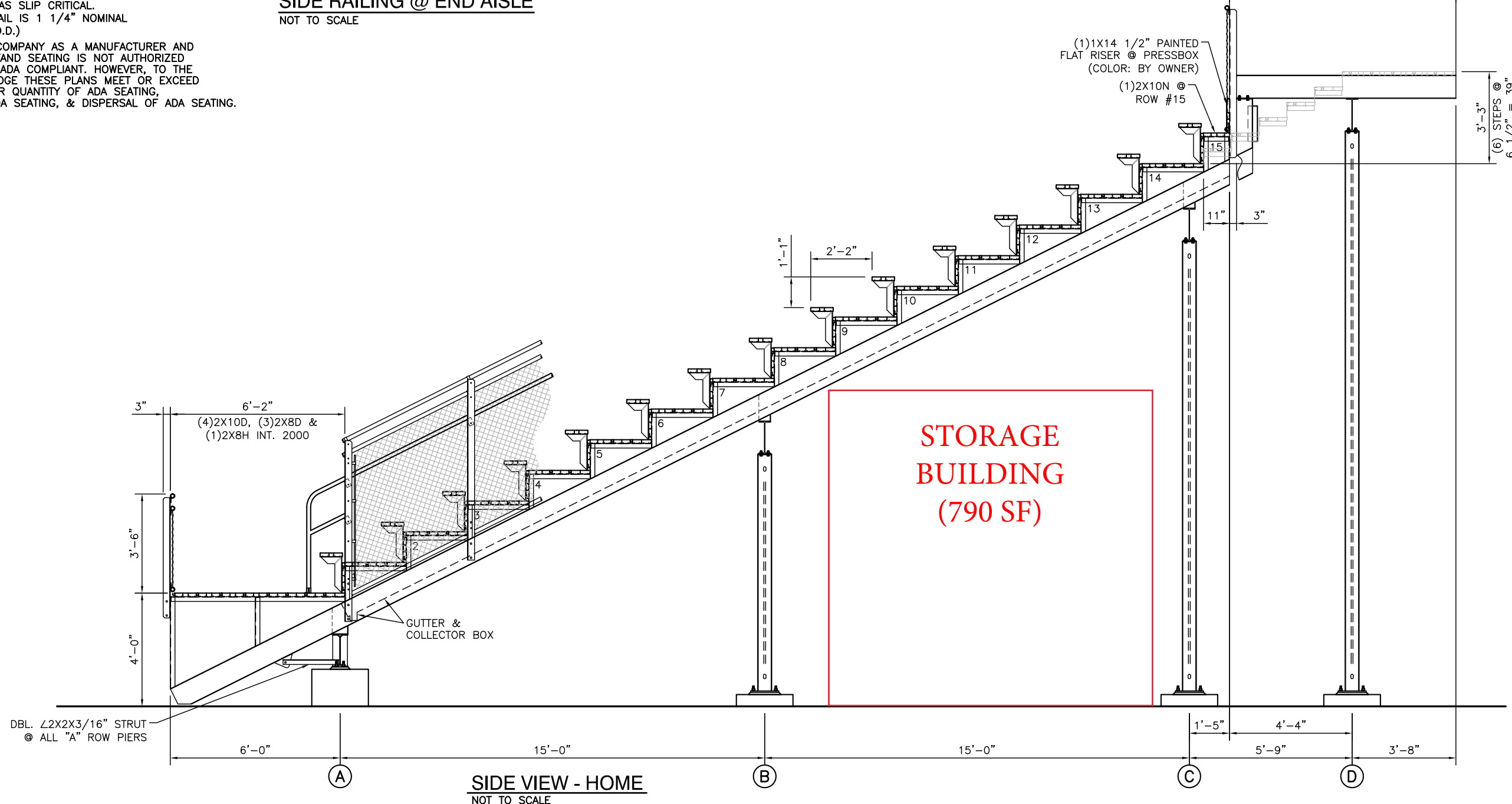


SIDE RAILING @ END AISLE
 NOT TO SCALE



- A = 2 X 10 ANODIZED ALUMINUM SEAT
- B = MILL ALUMINUM SEAT BRACKET
- C = 2 X 10 MILL ALUMINUM INTERLOCK 2000 TREAD - NOSE
- D = 2 X 8 MILL ALUMINUM INTERLOCK 2000 TREAD - DECK
- E = 2 X 8 MILL ALUMINUM INTERLOCK 2000 TREAD - HEEL
- F = 1 X 9 1/2 PAINTED ALUMINUM FLAT RISER (COLOR: BY OWNER)
- G = 1 X 1 PAINTED ALUMINUM CONTRASTING NOSING (BLACK)
- H = 2 X 9 MILL ALUM. INTERLOCK HALFSTEP - DECK
- J = 2 X 4 MILL ALUM. INTERLOCK HALFSTEP - NOSE W/RISER
- K = 5" MILL ALUMINUM HALFSTEP BRACKET
- L = 5" ANODIZED ALUMINUM INTERLOCK STEP RISER

PLANK ARRANGEMENT
 NOT TO SCALE 13" X 26"



SIDE VIEW - HOME
 NOT TO SCALE

DETAIL NUMBER
 3109 SHEET CUT FROM

NOT FOR CONSTRUCTION

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 801 Fifth Street
 Phone: 940/594-7333 Fax: 940/594-1365

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 Established 1946

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REV	BY	DATE	DESCRIPTION
1	LD	11/2/12	NG
2	LD		LD

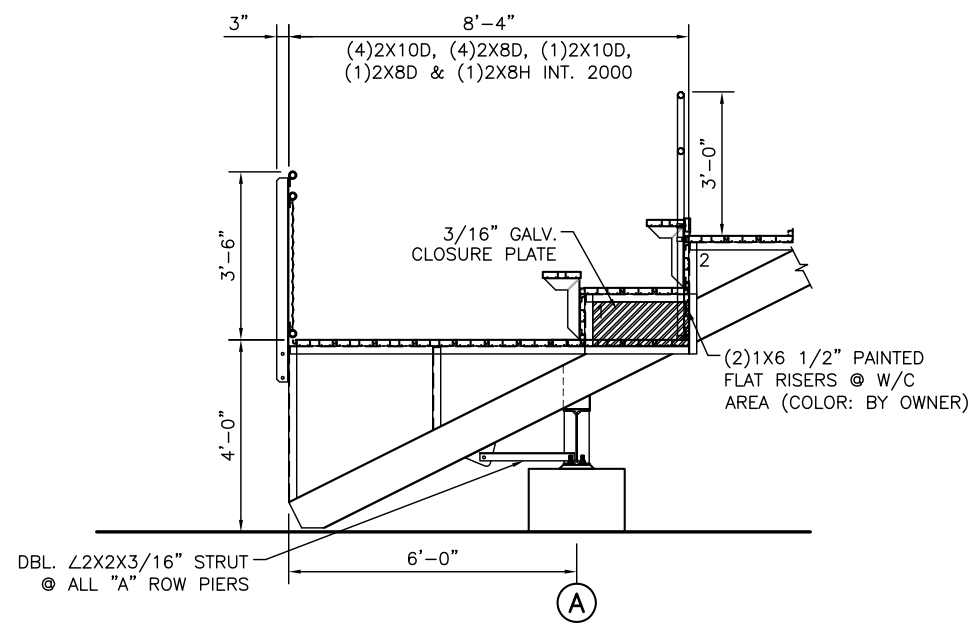
JOB NUMBER
12sd219

SHEET
1 OF
6

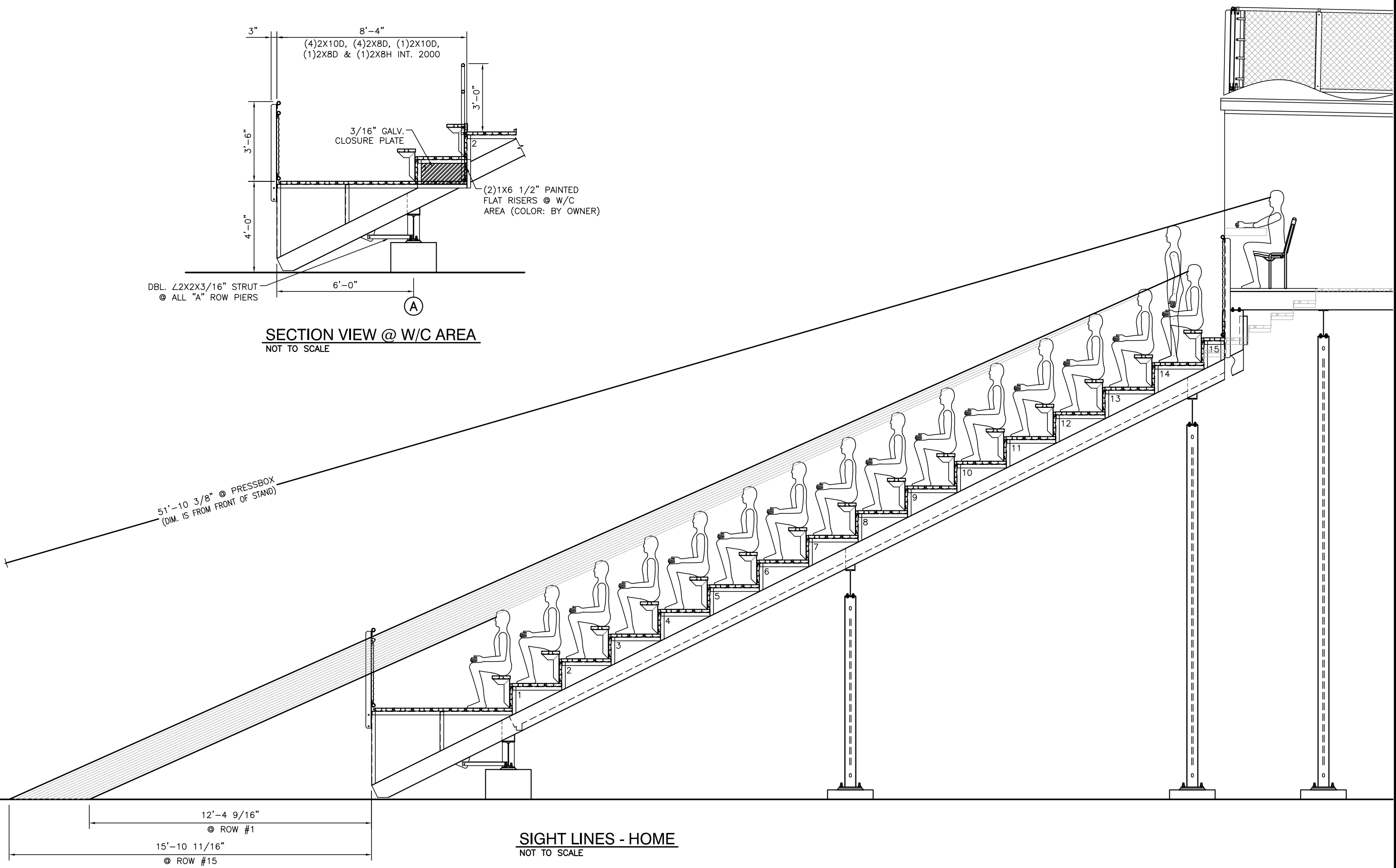
THE SIDE VIEW - HOME
 13" RISE X 26" TREADS / 15 ROWS

THE NORTH BOONE HIGH SCHOOL
 HOME & VISITOR BLEACHERS
 POPLAR GROVE, ILLINOIS

22" X 34" (11x17 = 1/2 indicated scale)



SECTION VIEW @ W/C AREA
NOT TO SCALE



SIGHT LINES - HOME
NOT TO SCALE

1-1 DETAIL NUMBER
3-10 SHEET SHOWN ON
CUT FROM

NOT FOR CONSTRUCTION

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801 Fifth Street
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Established 1946

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SIGHT LINES - HOME
13" RISE X 26" TREADS / 15 ROWS

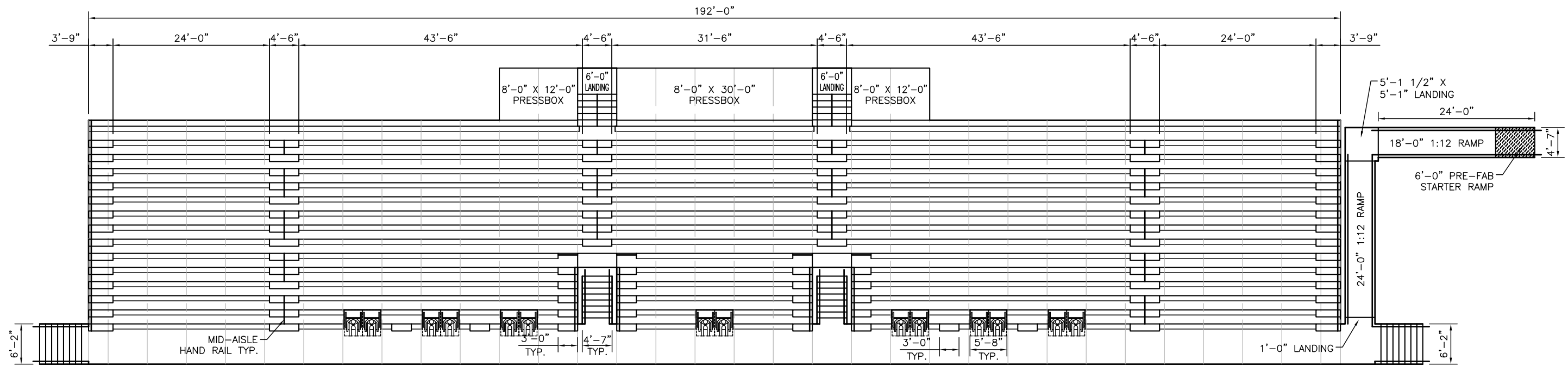
NORTH BOONE HIGH SCHOOL
HOME & VISITOR BLEACHERS
POPLAR GROVE, ILLINOIS

REV	BY	DATE	DESCRIPTION
1	NG	11/2/12	LD

JOB NUMBER
12sd219

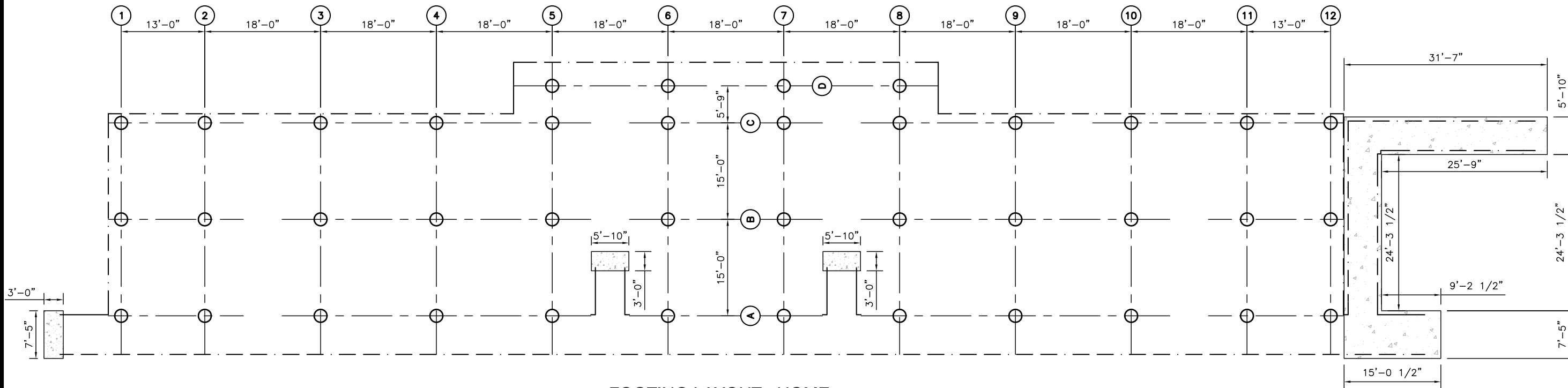
SHEET
2 OF
6

22" X 34" (11x17 = 1/2 indicated scale)



SEATING LAYOUT - HOME
SCALE: 1/8" = 1'-0"

1544 TOTAL NET 18" SEATS
14 TOTAL NET 33" WHEELCHAIR SPACES
1558 TOTAL SEATING CAPACITY



FOOTING LAYOUT - HOME
SCALE: 1/8" = 1'-0"

DETAIL NUMBER 1319 SHEET SHOWN ON 319 SHEET CUT FROM

NOT FOR CONSTRUCTION

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801 Fifth Street
Phone: 940/594-7333 Fax: 940/594-1365
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PLAN VIEW - HOME
192'-0" X 15 ROWS / 26" TREADS

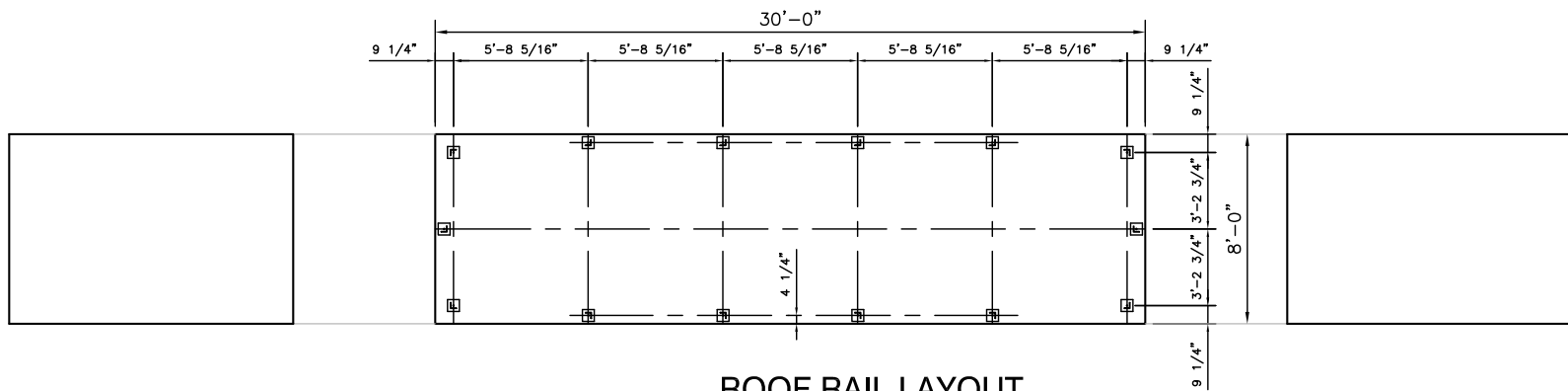
THE NORTH BOONE HIGH SCHOOL
HOME & VISITOR BLEACHERS
POPLAR GROVE, ILLINOIS

REV	BY	DATE	DESCRIPTION
1		11/2/12	NG
2			LD

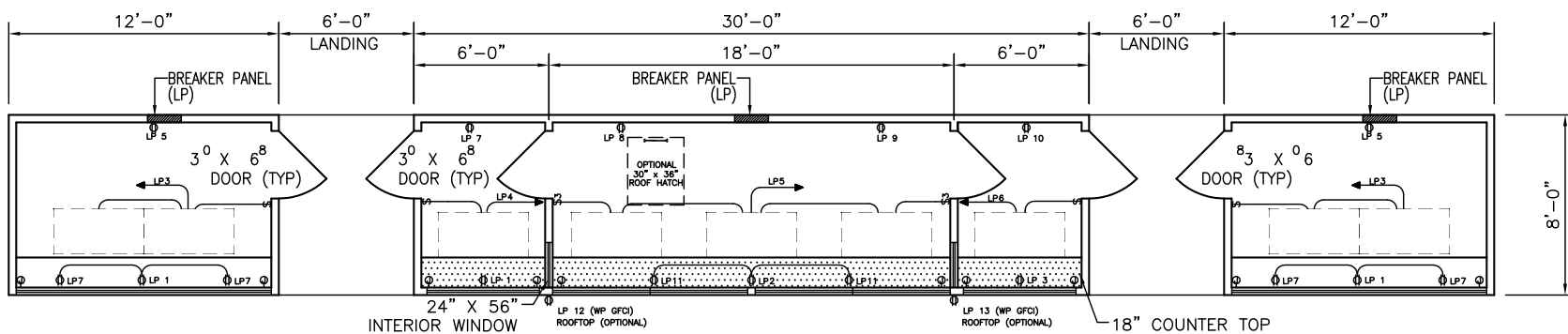
JOB NUMBER **12sd219**

SHEET **3** OF **6**

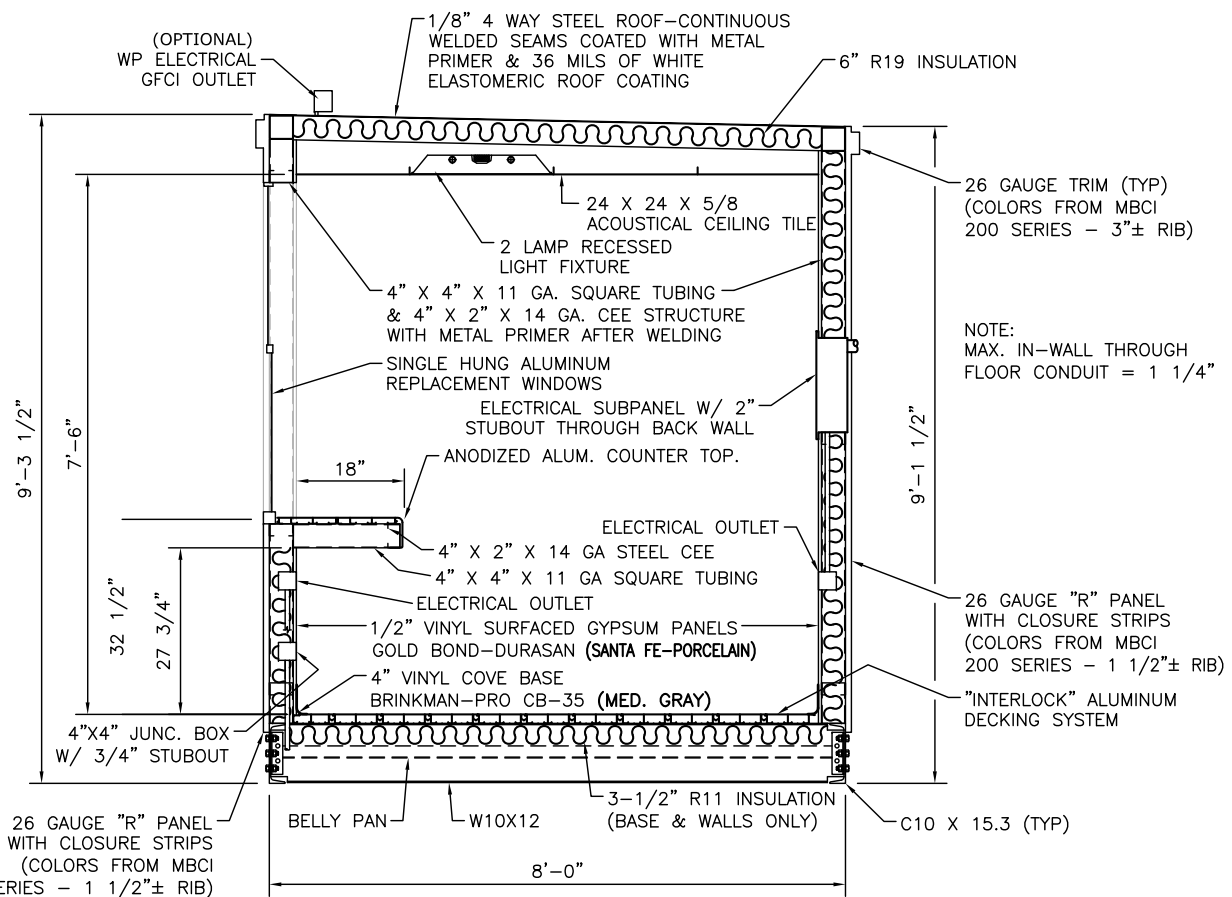
22" X 34" (11x17 = 1/2 indicated scale)



ROOF RAIL LAYOUT
SCALE: 1/4" = 1'-0"



PLAN VIEW
SCALE: 1/4" = 1'-0"



SECTION VIEW
SCALE: 3/4" = 1'-0"

30'-0" PRESSBOX PANEL SCHEDULE

GENERAL ELECTRIC #TLM1620CCU
PANEL LP 200 AMP RATED - 32 CIRCUIT W/ EQUIPMENT GROUND 240/120 VOLTS 1 PH.
MOUNTING: FLUSH SURFACE 10,000 SYN. A.I.C. MIN. 100 AMP MAIN BREAKER

RECP.	BREAKER SIZE	CIR. #	A	B	CIR. #	BREAKER SIZE	RECP.
RECP. FRONT WALL	20	1	1		2	20	1
RECP. FRONT WALL	20	1	3		4	20	1
(3) 4'X2' 2 LAMP RECESSED	20	1	5		6	20	1
RECP. BACK WALL	20	1	7		8	20	1
RECP. BACK WALL	20	1	9		10	20	1
2 RECP. FRONT WALL	20	1	11		12	20	1
RECP. ROOFTOP	20	1	13		14	20	1
SPACE	20	1	15		16		
SPACE			17		18		
SPACE			19		20		
SPACE			21		22		
SPACE			23		24		
SPACE			25		26		
SPACE			27		28		
SPACE			29		30		
SPACE			31		32		

- Ⓢ 15A. 125V. DUPLEX RECP.
- Ⓢ 15A. 125V. SINGLE POLE SWITCH
- Ⓢ 4X4X2 1/8" JUNCTION BOX W/ 3/4" C STUBOUT UNDER FLOOR
- Ⓢ 4'X2' - 2 LAMP FLUORESCENT FIXTURE LITHONIA 2GT8 2 32 A12 MVOLT GEB10RS
- CONDUIT WILL BE 1/2" EMT, 1/2" STEELFLEX, OR SURFACE RACEWAY UNLESS OTHERWISE NOTED
- WIRING ON 20A BREAKERS WILL BE #12 = THWN - THHN
- EQUIPMENT GROUND RUN IN ALL CONDUITS OR NON-METALLIC SURFACE RACEWAYS

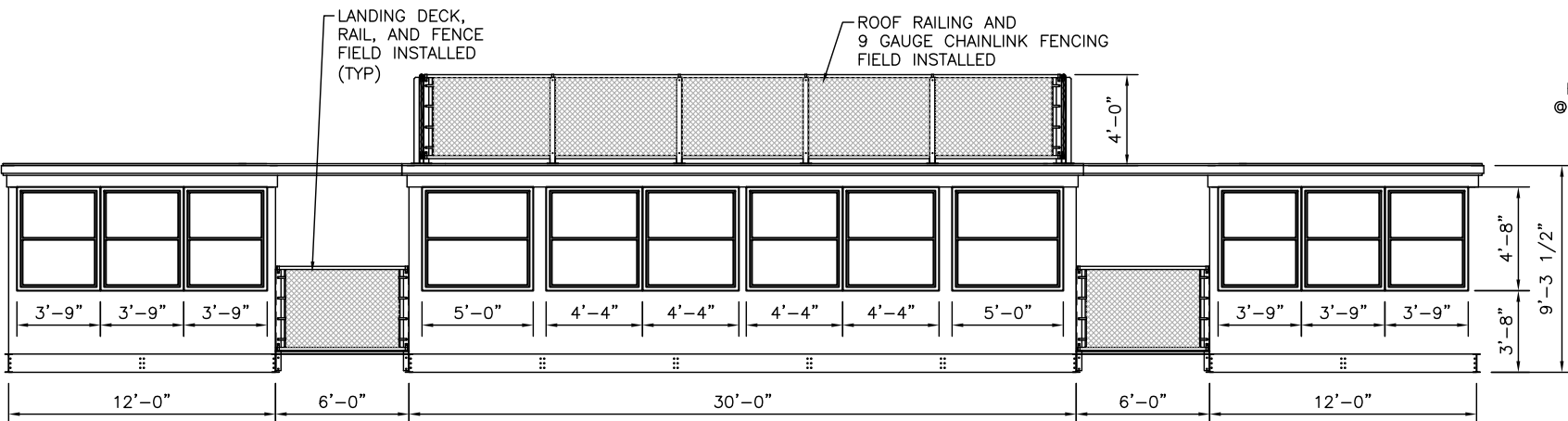
12'-0" PRESSBOX PANEL SCHEDULE

GENERAL ELECTRIC #TLM1620CCU
PANEL LP 200 AMP RATED - 32 CIRCUIT W/ EQUIPMENT GROUND 240/120 VOLTS 1 PH.
MOUNTING: FLUSH SURFACE 10,000 SYN. A.I.C. MIN. 100 AMP MAIN BREAKER

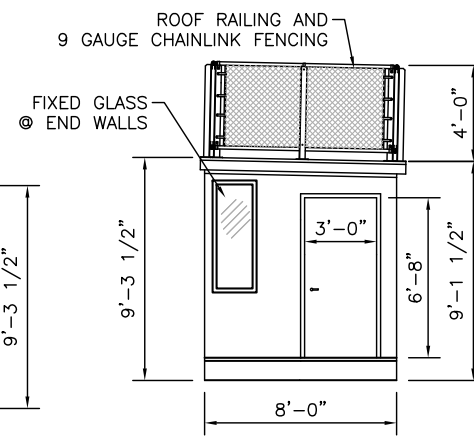
RECP.	BREAKER SIZE	CIR. #	A	B	CIR. #	BREAKER SIZE	RECP.
1 RECP. FRONT WALL	20	1	1		2	20	1
LIGHTS	20	1	3		4		
1 RECP. BACK WALL	20	1	5		6		
2 RECP. FRONT WALL	20	1	7		8		
SPACE	20	1	9		10		
SPACE			11		12		
SPACE			13		14		
SPACE			15		16		
SPACE			17		18		
SPACE			19		20		
SPACE			21		22		
SPACE			23		24		
SPACE			25		26		
SPACE			27		28		
SPACE			29		30		
SPACE			31		32		

NOTES:

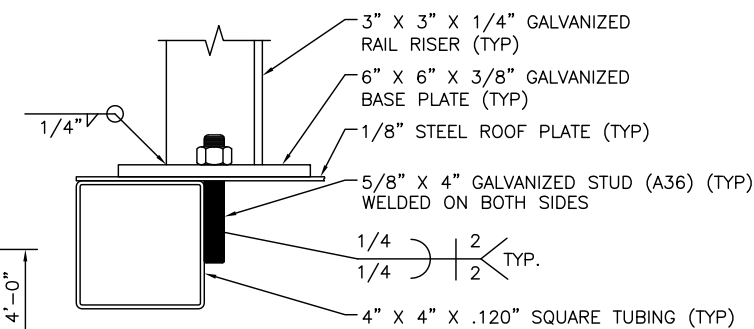
- ROOF PLATE STEEL IS WELDED ON BOTH SIDES OF RAFTERS WITH 1-1/2" LONG 1/8" FILLET WELDS ON 12" CENTERS.
- WALL PANELS ARE ATTACHED WITH #12 TEK SCREWS - 6" O.C. AT THE TOP AND BOTTOM OF THE PANELS AND 12" O.C. AT ANY INTERMEDIATE BRACE.
- LAP SCREWS ARE PLACED AT EACH END OF THE PANELS, AT THE INTERMEDIATE SUPPORTS, AND AT THE MID POINT BETWEEN SUPPORTS (TEK #14)
- FLOOR PLANK IS ATTACHED TO W10 X 12 WITH 2- 2" TEK SCREWS PER END OF PLANK AND AT INTERMEDIATE SUPPORTS.



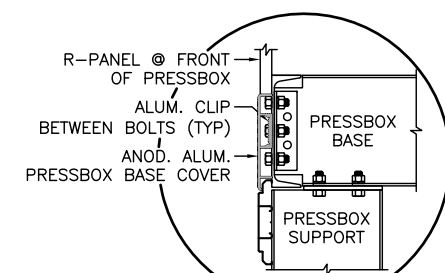
FRONT ELEVATION VIEW
SCALE: 1/4" = 1'-0"



SECTION VIEW
SCALE: 1/4" = 1'-0"



ROOF RAIL ATTACHMENT
NOT TO SCALE



PRESSBOX BASE TRIM DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION
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 801 Fifth Street, Phone: 940/549-7333 Fax: 940/549-1365
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PRESSBOX SHEET
 (2) 8'-0" x 12'-0" & (1) 8'-0" x 30'-0" PRESSBOX
 THE NORTH BOONE HIGH SCHOOL HOME & VISITOR BLEACHERS
 POPLAR GROVE, ILLINOIS
 11/2/12
 12sd219
 SHEET 4 OF 6

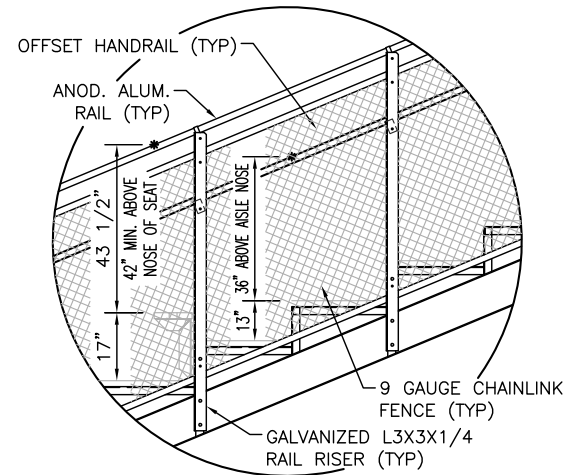
22" X 34" (11x17 = 1/2 indicated scale)

DESIGN LOADING

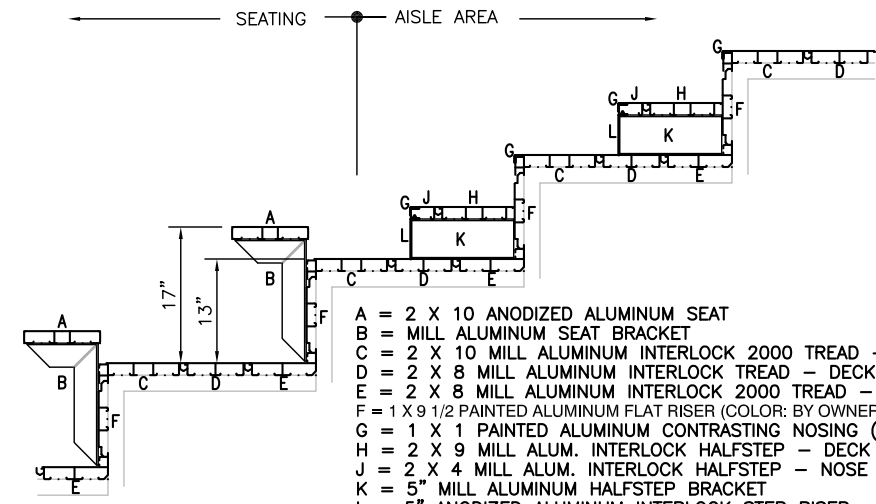
TREAD & SEAT AREA 100psf UNIFORM LIVE LOAD.
 SEAT (VERTICAL) 120 lbs/lf.
 SEAT (HORIZONTAL SWAY) 24lbs/lf PARALLEL AND 10lbs/lf PERPENDICULAR TO SEAT.
 HANDRAIL & GUARDRAIL 50 lbs/lf IN ANY DIRECTION.
 HANDRAIL & GUARDRAIL 200 lbs CONCENTRATED IN ANY DIRECTION.
 SNOW LOADS AS PER STATE ADOPTED CODE
 WIND LOADS AS PER STATE ADOPTED CODE
 SEISMIC LOADS AS PER STATE ADOPTED CODE

NOTES

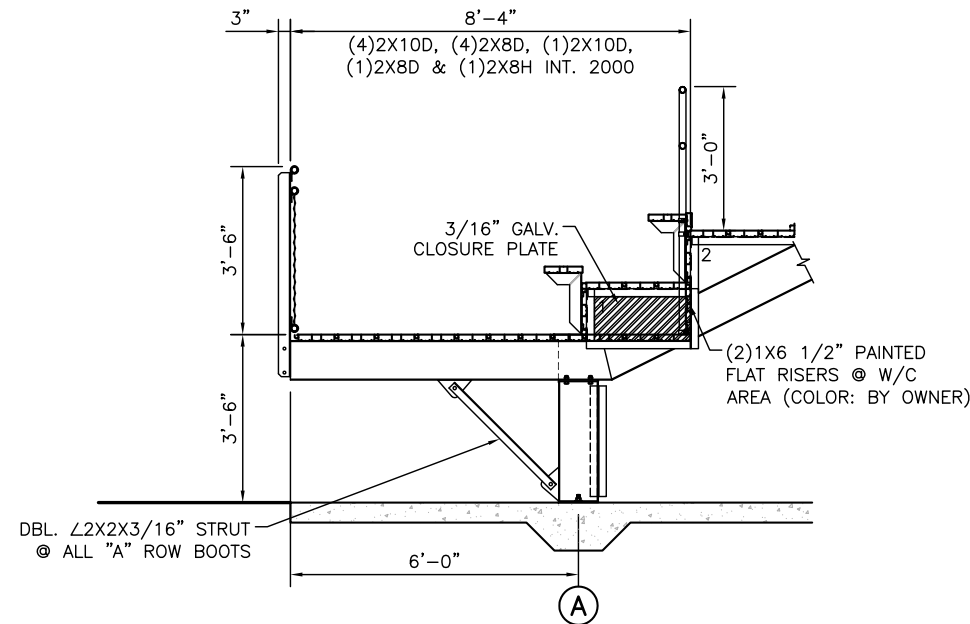
- 1 ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING A.I.S.C. STANDARDS
 PLATE UP TO 1/2" THICK = A36
 PLATE U.N.O. = A572 GRADE 50
 ANGLE = A36/A36M GRADE 50
 WIDE FLANGE = A992 Fy=50 ksi
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 ROD = A36/A529 GRADE 50
 TUBE = A500 GRADE "B" 46 ksi
- 2 WELDS ARE ALL AROUND WITH TYPE ER70S-6 WIRE MIG.
- 3 ALL STEEL TO BE HOT DIPPED GALVANIZED TO A.S.T.M. A-123-89 ae1.
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- 5 NO CONNECTIONS UTILIZING HIGH STRENGTH BOLTS ARE CLASSED AS SLIP CRITICAL.
- 6 ANODIZED ALUMINUM RAIL IS 1 1/4" NOMINAL PIPE SIZE. (1 5/8" O.D.)
- 7 SOUTHERN BLEACHER COMPANY AS A MANUFACTURER AND INSTALLER OF GRANDSTAND SEATING IS NOT AUTHORIZED TO CERTIFY PLANS AS ADA COMPLIANT. HOWEVER, TO THE BEST OF OUR KNOWLEDGE THESE PLANS MEET OR EXCEED ADA REQUIREMENTS FOR QUANTITY OF ADA SEATING, ACCESS/EGRESS TO ADA SEATING, & DISPERSAL OF ADA SEATING.



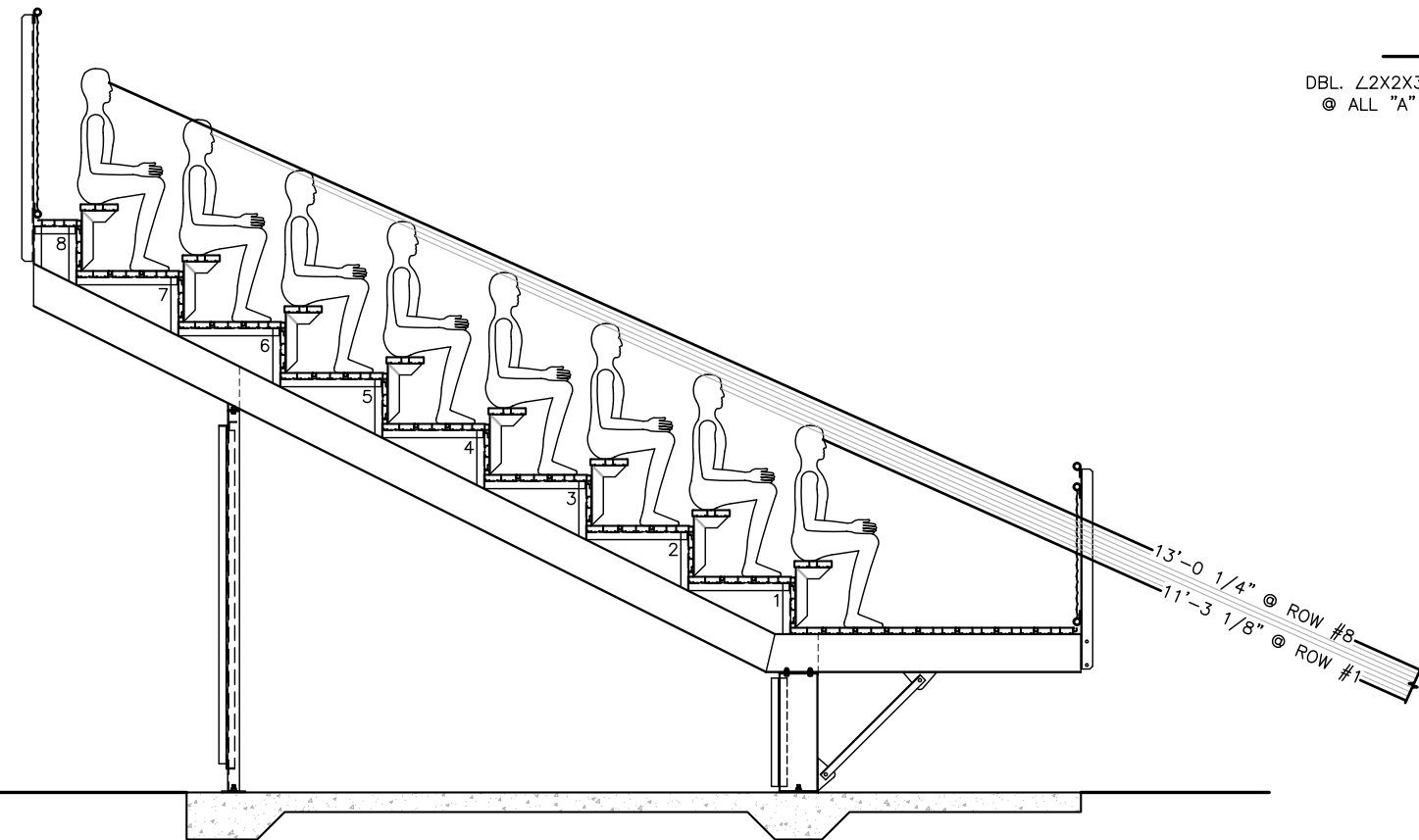
SIDE RAILING @ END AISLE
 NOT TO SCALE



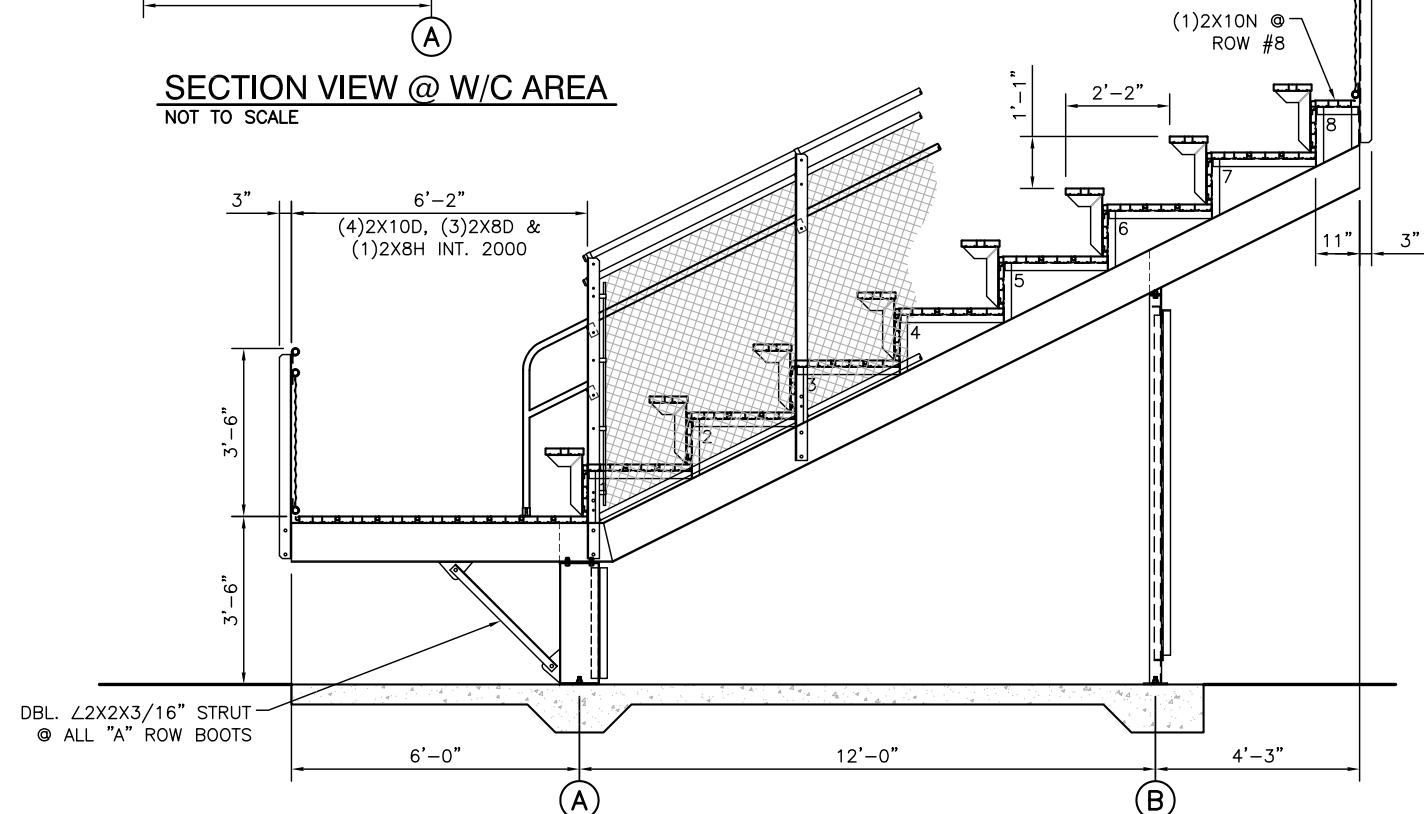
PLANK ARRANGEMENT
 NOT TO SCALE 13" X 26"



SECTION VIEW @ W/C AREA
 NOT TO SCALE



SIDE VIEW - VISITOR
 NOT TO SCALE



SIDE VIEW - VISITOR
 NOT TO SCALE

13
 319
 DETAIL NUMBER
 SHEET SHOWN ON
 SHEET CUT FROM

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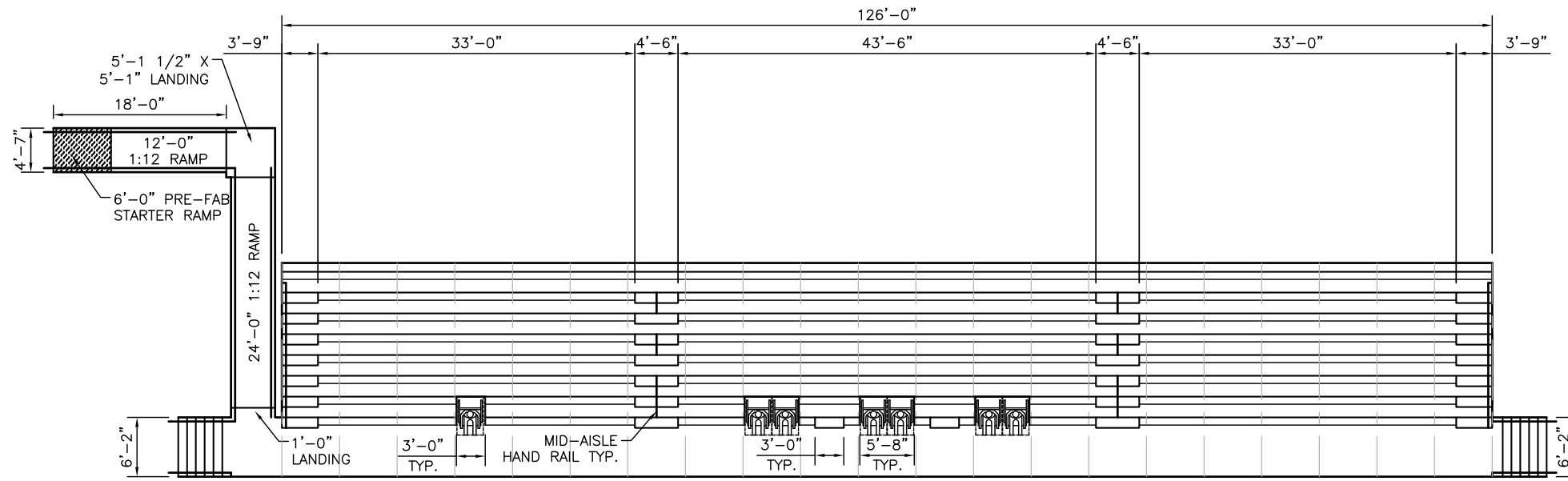
SIDE VIEW - VISITOR
 13" RISE X 26" TREADS / 8 ROWS
 THE NORTH BOONE HIGH SCHOOL
 HOME & VISITOR BLEACHERS
 POPLAR GROVE, ILLINOIS

REV	BY	DATE	DESCRIPTION
1		11/2/12	NG
2			LD

JOB NUMBER
12sd219

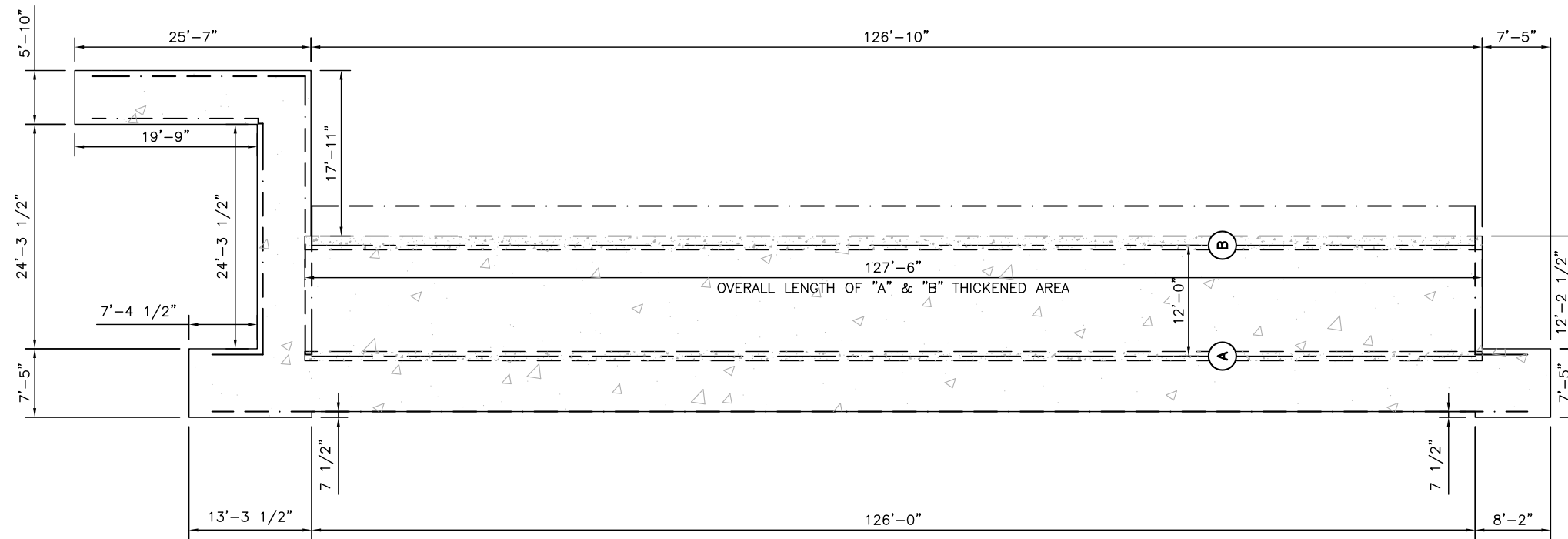
SHEET
5 OF
6

22" X 34" (11x17 = 1/2 indicated scale)



SEATING LAYOUT - VISITOR
SCALE: 1/8"=1'-0"

559 TOTAL NET 18" SEATS
7 TOTAL NET 33" WHEELCHAIR SPACES
566 TOTAL SEATING CAPACITY



FOOTING LAYOUT - VISITOR
SCALE: 1/8"=1'-0"

13-1
319
DETAIL NUMBER
SHEET SHOWN ON
SHEET CUT FROM

NOT FOR CONSTRUCTION

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PLAN VIEW - VISITOR
126'-0" X 8 ROWS / 26" TREADS

THE NORTH BOONE HIGH SCHOOL HOME & VISITOR BLEACHERS
POPLAR GROVE, ILLINOIS

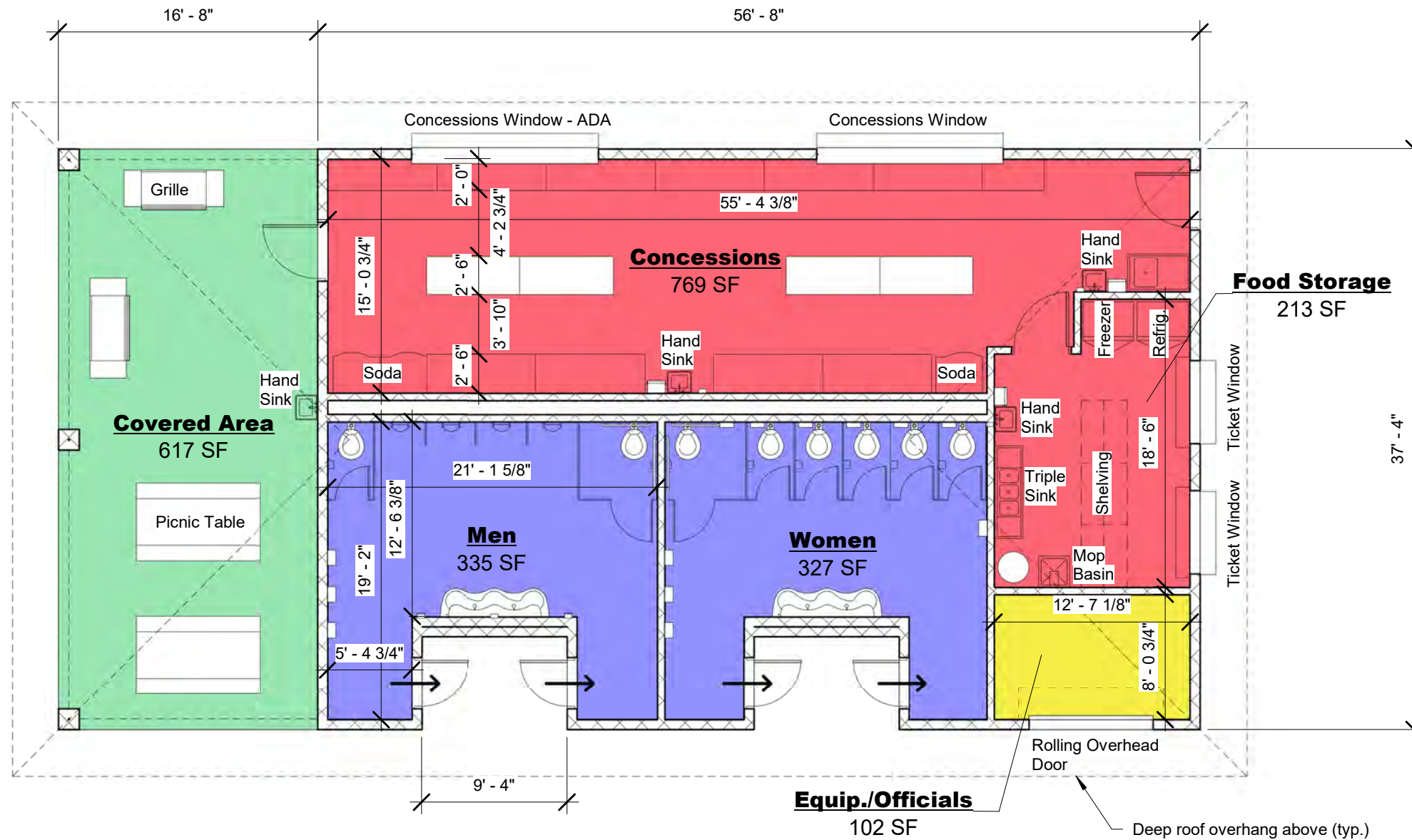
REV	BY	DATE	DESCRIPTION
1		11/2/12	NG
2			LD

JOB NUMBER
12sd219

SHEET
6 OF
6

Space Type Legend

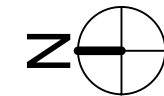
- Concessions
- Covered Exterior
- Equipment Storage
- Restroom



1

Concession Building Floor Plan - Concept A

1/8" = 1'-0"



Cashman Stahler Group 10 East 22nd St., Suite 107 Lombard, Illinois 60148 Tele: 630-889-8800 Fax: 630-889-8877 Web: www.cashmanstahler.com	Project: Stadium Study - North Boone High School 17823 Poplar Grove Road, Poplar Grove, IL 61065	Date: 12/05/12 Project: CSG541
	Client: North Boone Community Unit School District 200 6248 N. Boone Road, Poplar Grove, IL 61065	A202A



October 23, 2012

Architectural Programming Questionnaire - Results

Stadium Study - North Boone High School

North Boone Community Unit School District 200

Poplar Grove, IL

Project Number CSG541

Programming Questionnaire:

1. **Number of Survey Responses:** We had a great response to the programming questionnaire. A total of **Ninety-Six (96)** individuals completed the survey.

2. **Stadium Location:** What location do you believe would be best for the new stadium (select 1 or more)? **(Refer to the aerial photo for indication of the following locations).**
 - ___ #1: In the current location? **28.7%, 29 responses**
 - ___ #2: Near the current location, but with the field running north-south? **23.8%, 24**
 - ___ #3: Northwest of the high school? **15.8%, 16**
 - ___ #4: Southeast of the high school? **30.7%, 31**
 - ___ #5: Other location? **1.0%, 2 responses**Please describe:
 - 1) **Northeast - would like to be able to keep the current field for MS teams**
 - 2) **No opinion.**

3. **Advantages/Disadvantages of the Location:** Please list what you believe are the advantages and disadvantages of the location(s) you indicated in question #2 above:
 - a. Advantages/Disadvantages:
 1. **Location #2, more parking available.**
 2. **#1 & #4, Location is near MS, UE and HS. Adequate space for all needed areas. Southeast of school would allow area to expand, as needed.**
 3. **#4, I believe the space is too tight in the current location. I think there will be a nice amount of parking available if you put it southwest of the school. There will also be clear exits/entrance (people could enter at the high school and have to exit through the service road/middle school). I think the old field could be used as a practice field and for Middle School/Lion's club games, etc. or as a soccer field.**
 4. **#1, No need to change the other fields or do extra work getting new ground ready for a brand new location; location easily accessible to MS & UE PE classes.**
 5. **#4, Would be able to start new and accommodate several sports.**
 6. **#1, Mid Campus.**
 7. **#4, Closer to parking and could bring district road down and add more**



- parking. More space to work with for bleachers. You would see the school before the football stadium and it is away from all the traffic entering from the road.
8. #4, Space, noise control, not first visible when entering the school!
 9. #1, Due to use of parking lots.
 10. #1, Don't want to transform existing agricultural areas out of ag use. Possibly switch the home to the north side of field with new concession stand/bathrooms under the seating area.
 11. #1, Tradition. Keep North Boone the way it was, while improving it.
 12. #4, I like it there. It'll be a new place.
 13. #1, It should stay in the same place it is, it is the perfect area for a football field.
 14. #1, Accessible, familiar.
 15. #1, Wind blockage and it is a tradition to have it the same.
 16. #4, While building the new location, the old location (even with problems) can be used.
 17. #4, Gives us two locations to use. maybe middle school can still use old field for their games.
 18. #4, Larger space, leaves current space for middle school use, better parking and exit possibilities.
 19. #2, The locality of the stadium will support all activities associated with the high school and middle school. Community members will place a higher value on a stadium that is next to our high school and middle school.
 20. #1, Access for middle schoolers.
 21. #1, I believe that the new field is necessary but only seating wise. We have a gorgeous field that Mr. Johnson takes great care of and the trees block the wind and give our stadium its name. I think the stadium just needs a new track that can be extended, new home and away bleachers big enough for the crowd to all sit in also new press boxes for our and other coaches to sit in, and lastly a new concession stand.
 22. #1, Tradition.
 23. #1, We don't have to create a new field, we already have one. I think we need new bleachers and a new concession stand and a new track.
 24. #1 & #4, Advantage: Close to both high school and middle school. Disadvantage: Parking.
 25. #4, More room to build a big stadium, and it's wide open.
 26. #3, More open space. Room to expand if needed. It is separate from the Middle School.
 27. #2, Re-orienting the field N/S would allow for extra parking in current lots at the High School, and it would still be accessible to the UE/MS



- without impeding traffic flow/safety patterns. It would also leave the area NW of H.S. available for future expansion.
- 28. #4, Parking, room to expand, no need to move soccer & baseball fields. Disadvantages: None at the moment.
 - 29. #4, It's more close to the actual high school. Makes that side of the building more useful. Plus it's right outside the weight room.
 - 30. #3, Distance from middle school. Accessible parking.
 - 31. #4, Closer to parking, advantage of as much space as you need.
 - 32. #3, This location would allow the school to still be visible from the road, keep practice fields and baseball/softball diamonds in current location, and leave current football field for Jr High.
 - 33. #4, More parking, still secluded location and separate from middle school and upper elementary... Separate gym spaces!
 - 34. #2, Can still keep other facilities in tact.
 - 35. #4, Can add parking make it as big as needed.
 - 36. #4, Plenty of space. Open options.
 - 37. #3, Advantages - it is closer to the locker rooms for half time. Disadvantage is that it is further from parking.
 - 38. #4, 1. Closer for High School locker room, restroom use 2. Better access for delivering supplies 3. Away from Poplar Grove traffic 4. Closer to existing parking 5. Leaves play fields untouched 6. Leaves existing stadium intact for use until new is completed. Might save on scheduling and costs incurred for an accelerated construction schedule. 7. Potential to save on utility needs- well, septic and power as all should be more accessible ** would recommend removal of old stadium once new stadium is opened to save operational costs of maintenance.
 - 39. #3 & #4, More accessible for parking.
 - 40. #3 & #4, There is ample room and it is in closer proximity to the high school. Parking is accessible to the field either northwest or southeast.
 - 41. #1 & #4, Our first choice would be choice #4. It would put the stadium in an accessible location and yet not in the way of traffic flow. It also allows room to make it work. Any location must include an adequate concession stand/restroom area away from stands.
 - 42. #3, Closer to the high school for all the high students.
 - 43. #2, Less restriction with the middle school next to the field to accommodate the needs of the field and the seating.
 - 44. #4, No interference at the middle school and closer for high school activities.
 - 45. #1, Perfect place its always been there and the trees are our thing.
 - 46. #4, There is more space available and it does not seem to interfere with



- 47. **current athletic fields.**
#4, This will allow the Middle school to have the old stadium for their games and activities. The high school building would be responsible for accommodating the fans.
- 48. **#3, Proximity to high school.**
- 49. **#1, Facing west in a north/south stadium is very uncomfortable when the sun is shining! That's why I feel the current location is best due to stands facing north & south.**
- 50. **#2, Field facing proper direction. The location already has electricity and parking. We would just need to run plumbing to it.**
- 51. **#2, The sun is not in the players eyes.**
- 52. **#4, Advantages: Won't interfere with what is already existing during a construction phase.**
- 53. **#1, I love the trees that are lining the field. People from other schools always comment on how "Pine Tree Stadium" is such a beautiful place to play.**
- 54. **#1 & #2, It is a central location that is easy to get to, with access to a variety of parking areas.**
- 55. **#1, Tradition, wind block by trees.**
- 56. **#4, Close to parking lots. Nobody wants to walk 3 blocks to get in the stadium.**
- 57. **#2, Centrally located for parking purposes.**
- 58. **#1, Pine trees give the field a good wind blocker.**
- 59. **#2 & #3, Near the current location is fairly even between the HS and the MS, both of which use the facility for P.E. and athletics.**
- 60. **#3, Parking.**
- 61. **#1 & #3, Advantage - more space to expand disadvantage - further away from the current parking lot.**
- 62. **#3, There are lots of advantages for the new stadium. Everybody would benefit, track, football, and the community. The only disadvantage is the cost.**
- 63. **#4, Advantages: Wouldn't have to move the current softball fields, close to parking. Disadvantages: Distance from locker room.**

4. **Uses for the Stadium:** Indicate what uses you think the new stadium should accommodate (check 1 or more)?
- a. Football games for North Boone High School: **98%, 93 responses**
 - b. Football practices for North Boone High School: **56.4%, 53**
 - c. Football games for local youth football teams: **46.8%, 44**
 - d. Track and field meets for North Boone High School: **93.6% 88**
 - e. Track and field practices for North Boone High School: **79.8%, 75**



- f. Band practice for North Boone High School: **75.5%, 71**
 - g. Soccer games for North Boone High School: **79.8%, 75**
 - h. Soccer practices for North Boone High School: **47.9%, 45**
 - i. Soccer games for local youth soccer teams: **41.5%, 39**
 - j. Physical education classes: **72.3%, 68**
 - k. Other uses (please list below): **8.5%, 8**
 - 1) **What about baseball?**
 - 2) **Spring and Fall Award ceremonies, pep rallies.**
 - 3) **The old one should be used for track and football practices.**
 - 4) **If we keep the new field for HS team, the current field can be used for MS and youth football teams.**
 - 5) **Middle School football, soccer, and track.**
 - 6) **Graduation.**
 - 7) **MS Soccer and Football games and track meets.**
5. **Football/Soccer Field Type:** Indicate whether you think the new playing surface should be natural grass with irrigation or synthetic turf (select 1) and why:
- a. Natural grass field with irrigation system: **53.0%, 44 responses.**
 - b. Synthetic turf field without irrigation system: **47.0%, 39**
 - c. Why?
 - 1) **Synthetic field would be able to handle multiple uses and have less wear and tear, grants are also available to help with the cost.**
 - 2) **I think whatever is easiest to maintain and the most cost effective.**
 - 3) **Synthetic Turf: Easier to maintain?**
 - 4) **Natural Grass: Does it cost less to install and maintain a grass/irrigated field?**
 - 5) **Natural Grass: No reason, like the natural look but which ever is more cost efficient for putting in and maintaining.**
 - 6) **Synthetic Turf: Longer lasting/cost control in long run.**
 - 7) **Synthetic Turf: If it is affordable, synthetic would allow multiple uses without concern of ruining the field.**
 - 8) **Natural Grass: It looks better.**
 - 9) **Synthetic Turf: Easier to maintain.**
 - 10) **Natural Grass: It's better for everything.**
 - 11) **Synthetic Turf: Wont get tore up as bad as natural.**
 - 12) **Natural: Not sure of the cost/maintenance with synthetic.**
 - 13) **Synthetic: More cost effective in the long run.**
 - 14) **Synthetic: More durable for games, great advances with synthetic grass.**
 - 15) **Natural: Turf is less maintenance but surface is hard on the body. I like grass because its natural and makes the field look better.**



- 16) Natural: Its cost prohibitive to buy proper turf.
- 17) Natural: It's real.
- 18) Synthetic: I'm sure you can save money with synthetic grass.
- 19) Synthetic: Less maintenance.
- 20) Natural: Student safety and more environmentally responsible.
- 21) Synthetic: Cheaper maintenance and more professional, less uneven ground.
- 22) Synthetic: Lower maintenance cost plus it would hold up to the multiple uses.
- 23) Synthetic: Ease of upkeep.
- 24) Natural: More natural, less expensive.
- 25) Synthetic: Less maintenance.
- 26) Synthetic: So it will hold up better to the multiple uses.
- 27) Synthetic: 1 time cost.
- 28) Synthetic: Savings over the long run.
- 29) Synthetic: More durable.
- 30) Synthetic: 1. Expanded use turf provides; 2. Reduced injury potential; 3. Reduced cost of operation & maintenance- Turf would eliminate watering (and irrigation system), mowing, fertilizing & seeding, line striping.
- 31) Synthetic: Less injuries.
- 32) Synthetic: Looks good and easy to take care of.
- 33) Either: Not really sure what's better for players. That would really be our choice.
- 34) Natural: Natural and easy to fix.
- 35) Natural: Cost considerations. Authenticity of the game. Practical need for it (several area teams aren't playing on it.)
- 36) Natural: Synthetic does not last forever and would have to be replaced at more expense than grass.
- 37) Synthetic: Optimize the use of the field.
- 38) Natural: It's more real and natural.
- 39) Natural: Fewer injuries.
- 40) Synthetic: Easier to sustain.
- 41) Natural: Grass is easier on the athletes.
- 42) Natural: Natural is the best way to go, and most likely a better solution financially.
- 43) Natural: Easier on the body parts.
- 44) Natural: Cost.
- 45) Synthetic: It would seem to drain better and to not get torn up as easily as natural grass.
- 46) Natural: Cost.



47) Synthetic: Theoretically less maintenance on a synthetic field.

6. Football/Soccer Field Sizes:

a. **Soccer Field:** The soccer field will be sized to meet IHSA requirements. Please indicate what dimensions you believe should be provided for the soccer field (dimensions vary):

i. Length:

(1) 120 yards: **20 responses.**

(2) 100 yards: **9 responses.**

ii. Width:

(1) 80 yards: **20 responses.**

(2) 70 yards: **2 responses.**

(3) 60 yards: **7 responses.**

iii. Why? Additional comments or requirements?:

(1) **Minimum IHSA requirements.**

(2) **Soccer field should be in a different location.**

(3) **Bigger is better.**

7. Fencing, Crowd Control, Supervision: New fencing will be provided to secure the entire perimeter of the stadium and to separate the playing field from the spectators. How many spectator entrances should there be to the stadium and why?

a. One (1) entrance: **22.0%, 20 responses.**

b. Two (2) entrances: **78.0%, 71 responses.**

c. Why?

1) **Two: One for the visitors and the other for the home team.**

2) **Two: Not as many jam ups--better flow of people on heavily attended games.**

3) **One: You can control access to the field.**

4) **Two: Easier access - most large schools have several entrances, not only for spectators, but would also make sense if various PE classes need to access the field.**

5) **Two entrances in case there needs to be a rapid evacuation.**

6) **One: One gate to maintain, provide ticket takers, etc.**

7) **Two: Faster, less traffic.**

8) **Two: Keep two sides apart.**

9) **Two: With a dedicated EMS entrance.**

10) **Two: Easier access for large crowds. Could always close one entrance if not needed.**

11) **One: Many schools about the size of ours have only one.**

12) **Depends on location.**



8. **Bleachers:**

a. **Seating Capacity:** New bleachers will be provided for the home and visitor spectators. The new bleachers will be compliant with the Americans with Disabilities Act. Please indicated what seating capacity you believe should be provided:

1) **Home seating capacity:**

- a) 200: 13.3%, 6 responses
- b) 300: 13.3%, 6
- c) 400: 6.7%, 3
- d) 500: 11.1%, 5
- f) 600: 2.2%, 1
- g) 700: 4.4%, 2
- h) 1000: 26.7%, 12
- i) 1500: 4.4%, 2
- j) 2000: 11.1%, 5
- k) 3000: 2.2%, 1
- l) 4000: 4.6%, 2

m) **Comments:**

- 1) Current game attendance and add 20-25% more capacity.
- 2) Double or triple what we can seat now.
- 3) Home team, staff, & band x 5.
- 4) Big enough to hold a play-off event.
- 5) At least double what there is now.
- 6) At least double or triple what we have now with a student section.
- 7) Plan to potential of the school.
- 8) Double what we currently have.
- 9) At least triple the current capacity.
- 10) Enough for entire school district (all classes from all schools).
- 11) 200 regular with 100 spec needs/elderly.

2) **Visitor seating capacity:**

- a) 80: 4.3%, 2 responses
- b) 100: 14.9%, 7
- c) 150: 10.6%, 5
- d) 200: 12.8%, 6
- e) 250: 4.3%, 2
- f) 300: 17.0%, 8
- g) 400: 2.1%, 1
- h) 500: 25.5%, 12
- i) 750: 2.1%, 1



- j) 1000: 4.3%, 2
- k) 1500: 2.1%, 1
- l) Comments:
 - 1) Current game attendance and add 20-25% more capacity.
 - 2) 100 regular with additional 50 spec needs/elderly.
 - 3) Visiting team number and staff x 3.
 - 4) 25% increase of current.
 - 5) Double or triple what we have now.
 - 6) Approximately what we currently have for home seating.

- b. **Press Box:** Please indicate any specific requirements you have for the press box below.
 - i. **Size - Home team coaches:**
 - (1) Double the current size.
 - (2) Within reason.
 - (3) Big enough for 2 coaches.
 - (4) Big enough for 3 coaches.
 - (5) Enough to hold 10 people.
 - (6) Room for 2.
 - (7) BIG.

 - ii. **Size - Visiting team coaches:**
 - (1) 2 coaches.
 - (2) Big enough for 2 coaches.
 - (3) Big enough for 3 coaches.
 - (4) Reasonably size.
 - (5) Enough for 5 people.
 - (6) Room for 2.
 - (7) Smaller.

 - iii. **Size - Announcers/press:**
 - (1) Put them with the home teach coaches.
 - (2) Within reason.
 - (3) 2 people.
 - (4) 4 people.
 - (5) Big enough for 1 announcer.
 - (6) I think it should be able to hold up to 6 people, enough room to film the game have at least 3 announcers/score keepers/clock work, and for any other spectator necessary.
 - (7) Reasonably sized.
 - (8) Plenty of room to hold at least 3-5 people.

 - iv. **Filming areas:** Describe what you would like for filming areas:
 - (1) Maybe above the coaches box.



- (2) Within reason.
 - (3) At least 2 filming areas.
 - (4) Make a platform on top.
 - (5) Big enough for 2 filming.
 - (6) It should be in the announcers booth.
 - (7) We also need an endzone view for filming.
 - (8) Separate area for filming.
 - (9) Filming should be separate from the immediate press box..for example a room adjacent to the press box.
 - (10) Enclosed on top of the box.
- v. **Additional comments or requirements for the press box?**
- (1) This is just HS games!
 - (2) New sound system.
 - (3) Get a better sound system it sounds all muffled.
 - (4) A much better sound system please so they can be heard and much more play by play announcing.
 - (5) Sound system needs an upgrade.
 - (6) Follow reasonable established standards; Build what IHSA dictates.
 - (7) See other schools that have newer facilities to determine this. Needs good sound system.
 - (8) Maybe an area for a fan section that could be raffled off for each home game. People could pay for tickets to sit in this section as well. Make it an honor to sit up there!
 - (9) Internet access for game streaming.
9. **Concessions:** Please provide the following information related to the concessions building:
- a. **Location:** What would be the best location for the new concessions in relation to a new field, the home bleachers, and visitor bleachers?
- 1) Home side: 54.0%, 47 responses
 - 2) Visitor side: 0%, 0
 - 3) End zone: 42.5%, 37
 - 4) Other: 3.4%, 3
 - a) Neutral area, without posing distraction to players and fans (end zone is distracting).
 - b) Try to centrally locate the concessions for all sporting events.
 - c) Really depends on where the field ends up and what makes the most sense in relation to the field and space.
 - d) One centralized location for the concessions, bathrooms, and storage.



- b. **Size:** Based on the current concession building, should the new concessions building be the same size or larger than the existing building?
- 1) **Smaller: 0%, 0 responses**
 - 2) **Same size: 34.6%, 28**
 - 3) **Larger: 65.4%, 53**
 - 4) **Comments:**
 - a) **Twice as big.**
 - b) **Maybe selling area should be larger.**
 - c) **Double the existing size.**
 - d) **Ask the people working in the building!**
 - e) **Look at Genoa's and Clinton's - need 2 big windows.**
 - f) **Probably twice the size.**
 - g) **Need order window and pick-up window.**
 - h) **Big enough so it's not crowded.**
 - i) **Bigger to be more equipped to have more to sell.**
 - j) **Double it's size now.**
 - k) **12 feet longer.**
 - l) **Talk to people who have run concessions to see what their needs are.**
 - m) **At least large enough to accommodate 7-8 workers at once.**
 - n) **Larger if proposed for multi-use (winter storage, etc.)**
 - o) **Make it concessions, spirit wear, restrooms, & storage building.**
 - p) **Maybe windows on both sides, more air flow through there.**
 - q) **Better facility to accommodate food preparation.**
 - r) **Twice as big...line is always too long now.**
 - s) **Be able to have two lines.**
 - t) **Maybe slightly larger, maintenance free construction.**
 - u) **Probably 50% larger.**
 - v) **25% larger.**
 - w) **Large enough to serve the community. It is embarrassing when we can't seem to fill a need quickly.**
 - x) **Would be nice for the high school, middle school, soccer and track to each have their own section so no one has to make sure and get all their stuff out before the next game.**
 - y) **More windows/organization so there is less backup when ordering.**
- c. **Features:** Based on the current concessions building, what additional equipment, features, or a capabilities should be provided in the new concessions building versus the existing building?
- 1) **Restrooms.**



- 2) Bigger windows, grilling area.
 - 3) Working stove, better washing station, maybe add restrooms here.
 - 4) Must have space to accommodate lines, people able to form 2 lines at each window. Possibly look at putting concessions underneath the bleachers to accommodate multiple lines without getting in way of traffic area.
 - 5) More frig/freezer capabilities, additional stove, additional places for microwaves, partitioned storage room for stock supplies.
 - 6) Awning to cover in case of rain, spirit wear sold in concession building.
 - 7) I think it should open a 2 sided concessions for more convenient for all fans.
 - 8) Better features for serving hot dogs, hamburgers, better features for serving drinks.
 - 9) Grills, popcorn machine, more selection for drinks.
 - 10) Does it contain potable water? Life safety equip (defibrilator, stretcher,..).
 - 11) Fans.
 - 12) Eight burners, two fridges, locking storage for foods, soda.
 - 13) Ice machine with fountain pop please!!! Larger windows so you can see the people inside better.
 - 14) More storage space.
 - 15) Restrooms.
 - 16) Pizza carousel..restrooms attached..several windows to avoid long lines.
 - 17) Stoves for cooking/heating water, etc. LOTS of outlets. LOTS of counter space.
 - 18) Plenty of coolers. How can we not serve cold water/pop?????? Cooler space is critical.
 - 19) Commercial sized refrigerator/freezer, popcorn machine, pop coolers, pretzel warmer, etc.
 - 20) Guides for lines, right now everyone just stands wherever trying to get to the windows to pick up food.
10. **Restrooms:** Provide the following information related to restrooms?
- a. **Using Restrooms in the Schools:** How acceptable is it providing restrooms within the Middle School (or the high school if the new stadium is constructed near it) for use by spectators?
 - 1) **Yes: 37.5%, 33 responses**
 - 2) **No: 62.5%, 55**
 - 3) **Comments:**
 - a) **More work for janitors and messy buildings.**



- b) Easier if separate and easier for maintenance.
 - c) It causes more wear and tear on the buildings and more security issues.
 - d) Should be separate!
 - e) You don't want people entering and exiting school. Too hard to control entrances etc. Build restrooms in the stadium if at all possible. Could be included in phase 2 or added to concessions area as in Genoa and Clinton.
 - f) Should be below bleachers.
 - g) Larger restrooms for less waiting.
 - h) Make restrooms as part of concessions like Genoa-Kingstons.
 - i) Separate is better.
 - j) In building OK as long as they can be sectioned off. Some porta potty's at each sideline though.
 - k) It causes supervision problems to allow students into the school.
 - l) Put restrooms in an accessible place. Nobody wants to walk far to go to the bathroom, especially if you are elderly.
 - m) We can't provide adequate supervision for the facilities and costly problems often happen.
 - n) Especially those with physical limitations will have a difficult time getting to the restroom.
- b. **Portable Toilets:** Is it acceptable to provide portable toilets for the spectators?
- 1) **Yes: 57.5%, 50 responses**
 - 2) **No: 42.5%, 37**
 - 3) **Why?**
 - a) **No, I feel we would get more participation if we had running toilets.**
 - b) **Could have additional ones for homecoming/special events.**
 - c) **They are gross.**
 - d) **Permanent is better.**
 - e) **Yes, easy maintenance.**
 - f) **Yes, if higher end, well maintained, wash stations, etc.**
 - g) **It's better than nothing, but spectator restrooms would be better.**
 - h) **For the visitors maybe but there should be a nice facility.**
 - i) **No, there's no hand washing area!**
- c. **Exterior Restroom Building:** Should exterior restroom facilities be provided at the field for use by athletes and spectators?
- 1) **Yes: 85.7%, 72 responses.**



- 2) No: 14.3%, 12 responses.
- 3) Why?
 - a) No. I think these rarely would get cleaned properly--portable ones would be better, although gross :-).
 - b) Yes, if money is there...could add later.
 - c) Yes, it gets cold in October and April!
 - d) No. Cost prohibitive.
 - e) Attached to concessions.
 - f) Could be built at a later date.
 - g) Waste of money if we already have them.
 - h) Yes, need more restroom space.
 - i) Yes, it would be nice if there is enough money.
 - j) Convenience.
 - k) Need more bathroom space.

11. **Ticket Booths:** Should ticket booths be provided at the new stadium?
- a. Yes: 76.5%, 62 responses.
 - b. No: 23.5%, 19 responses.
 - c. Comments:
 - 1) One at the main entrance and a table would be fine for the second entrance.
 - 2) Not necessary if cost savings but a nice feature if can be included.
 - 3) Would be nice...if have enough funds.
 - 4) Small, covered, portable shelter (4 x 4) with counter for inclement weather.
 - 5) If we are going to do it, why don't we do it right?
 - 6) No, unless it can be combined with restroom facilities or concessions.
12. **Team Locker Rooms/Areas:** Is it acceptable to have the home and visiting teams use spaces in the existing schools before and during the game?
- a. Yes: 90.9%, 80 responses.
 - b. No: 9.1%, 8
 - c. Comments?
 - 1) Depending on location.
 - 2) Yes, locker room space should be at the high school for both teams.
 - 3) Yes, before the game, during half time and after the game only.
 - 4) No, visiting teams trash them.
 - 5) No, If it could be done financially, locker rooms would be great. But not highest priority.
 - 6) Yes, sometimes they mess with our stuff.



13. **Field Storage:** Should space be provided at the new stadium for storage of athletic equipment?
- a. **Yes: 89.0%, 73 responses**
 - b. **No: 11.0%, 9 responses**
 - c. **Comments or requirements?__**
 - 1) **Never have enough storage.**
 - 2) **For large awkward items only.**
 - 3) **Use old concession stand for storage.**
 - 4) **New have enough storage space for required "stuff."**
 - 5) **Across the road, where fireworks are launched for homecoming.**
 - 6) **Yes! Yes! Yes! Hard to drag track equipment across the school yard.**
 - 7) **Added cost that we don't need if the school is nearby.**
 - 8) **Yes, under bleachers. Provide multiple secured spaces.**
 - 9) **ABSOLUTELY!!!!!!**
 - 10) **Is it needed? And what is the cost factor?**
14. **Additional Comments/Requirements:** Please provide any additional comments or requirements you think would be important to the design team:
- a. **Green, black, and white.**
 - b. **Should have area for long jump pits, pole vault and high jump area that is not on grass. Track should have 8 lanes, 6 on corners. It is necessary to provide adequate seating so there can be an adequate student section. Please look at Genoa facilities as an example model. Perfect size and setup for what North Boone needs.**
 - c. **ATM present.**
 - d. **I really hope this field keeps tradition, but at the same time gets the proper treatment needed to provide for our fans, opponents fans, coaches and to all the players that deserve it.**
 - e. **Talk with other schools to see what works well and what doesn't.**
 - f. **Bleachers at the end of the field for the band to sit.**
 - g. **Use Midwest Track Builders to build the track.**
 - h. **Strongly recommend selling reserved seats to make additional revenue.**
 - i. **Provide light poles that would include ladders for lamp changes? Consider vehicle access for emergency, maintenance and concession delivery vehicles.**
 - j. **Visitor and home stands need to be high enough for spectators to see well. DO NOT do like Clinton, WI. Cheap bleachers and all spectators on one side. Well structured stands on both sides of field.**
 - k. **If we are going to do it, let's do it right. Let's build something that will satisfy our needs for 20 years not 5-7. It's cheaper to do things right the first time rather than have to go back and fix/add later. One similar to Marengo's, but on a smaller scale would be great. They did it right!**



- I. I have had several elderly people say that their experience at home football games was difficult. I think we need to offer golf cart rides for seniors who would like to see a game, but cannot walk far enough to reach the bleachers, only to find that there is no room. I witnessed a man's death last year, who prior to his passing stated that it sure was a long way to walk to get to the bleachers. He never made it.
15. **Thank you:** Thank you for high level of community feedback related to this programming questionnaire. Your input and opinions are critical for a successful project.

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