



Greenlee, Mike <mgreenlee@nbcusd.org>

CSG742 Bus Parking Lot improvements

2 messages

Gregory Stahler <gstahler@cashmanstahler.com>

Wed, Sep 8, 2021 at 9:21 AM

To: Mike Greenlee <mgreenlee@nbcusd.org>

Cc: Jim Nolen <jnolen@nbcusd.org>, Melissa Geyman <melissageyman@gmail.com>

Mike / Jim / Melissa,

Good Morning

A brief update on the Bus Parking Lot Improvement project:

1. The Bid Documents were made available to bidders beginning last week (Wednesday). At this time, we have issued Bid Documents to eight (8) prospective bidders.
2. The Bid Documents have been revised and reissued to Boone County for "final" stormwater review and permit. The initial Boone County stormwater review was completed in two (2) weeks. We are anticipating a similar review turnaround time.
3. The final stormwater design requirements, based on the initial Boone County review, are summarized as follows:
 - a. The existing volume of stormwater retention and the stormwater release rate need to meet present code. The present code requires more detention capacity than the code in force when the bus lot and detention pond were originally design and constructed. The good news – the original detention pond design had excess capacity and could meet the additional water detention capacity requirements of the present code. Unfortunately, the existing detention pond was not constructed per the original civil drawings. Subsequently, the top elevation of the existing detention pond berm will be modified (minimally) to meet the detention requirements.
 - b. The restrictor is being replaced/modified to meet the present code requirement for water release rate.
4. We've included a \$30,000 Owner Contingency Allowance for unforeseen conditions / unsuitable soils.
5. Based on the soil boring results, the existing soils beneath the existing stone base material is excellent (high bearing capacity) material at the locations where borings were obtained. Hopefully, these findings are representative of the entire parking lot.
6. All of the existing stone base material is scheduled to be removed for the new asphalt and concrete pavement installation. In addition, the existing subbase soils will also be undercut to the depth necessary to accommodate the new heavy duty pavement depths and match the present elevations of the fueling station concrete pad, and adjacent asphalt and concrete pavement.
7. We've included an Alternate Bid One for steel bollards. The alternate will be for the removal and replacement of the existing wood timber bollards around the perimeter of the fueling station with steel bollards, in lieu of new wood timber bollards. The existing guard rails are indicated to be removed and reinstalled.
8. Bid opening is scheduled for 3:00 PM on September 15, at the District Offices.

Sincerely,

Gregory M. Stahler, AIA

Cashman Stahler Group

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Lombard, IL 60148

T (630) 889-8800 X2500

P.E.A. - A Member of the American Institute of Architects, Inc. License No. 103-007-0001-0001-0001
 DATE: 10/12/2010
 BY: C:\Users\jgibson\Documents\Drawings\North Boone Community Unit School District 200 - District Office Bus Lot - Final.dwg



**NORTH BOONE COMMUNITY UNIT SCHOOL DISTRICT 200
 DISTRICT OFFICE BUS LOT
 6248 N BOONE SCHOOL ROAD
 POPLAR GROVE, ILLINOIS**

Approved For Seal

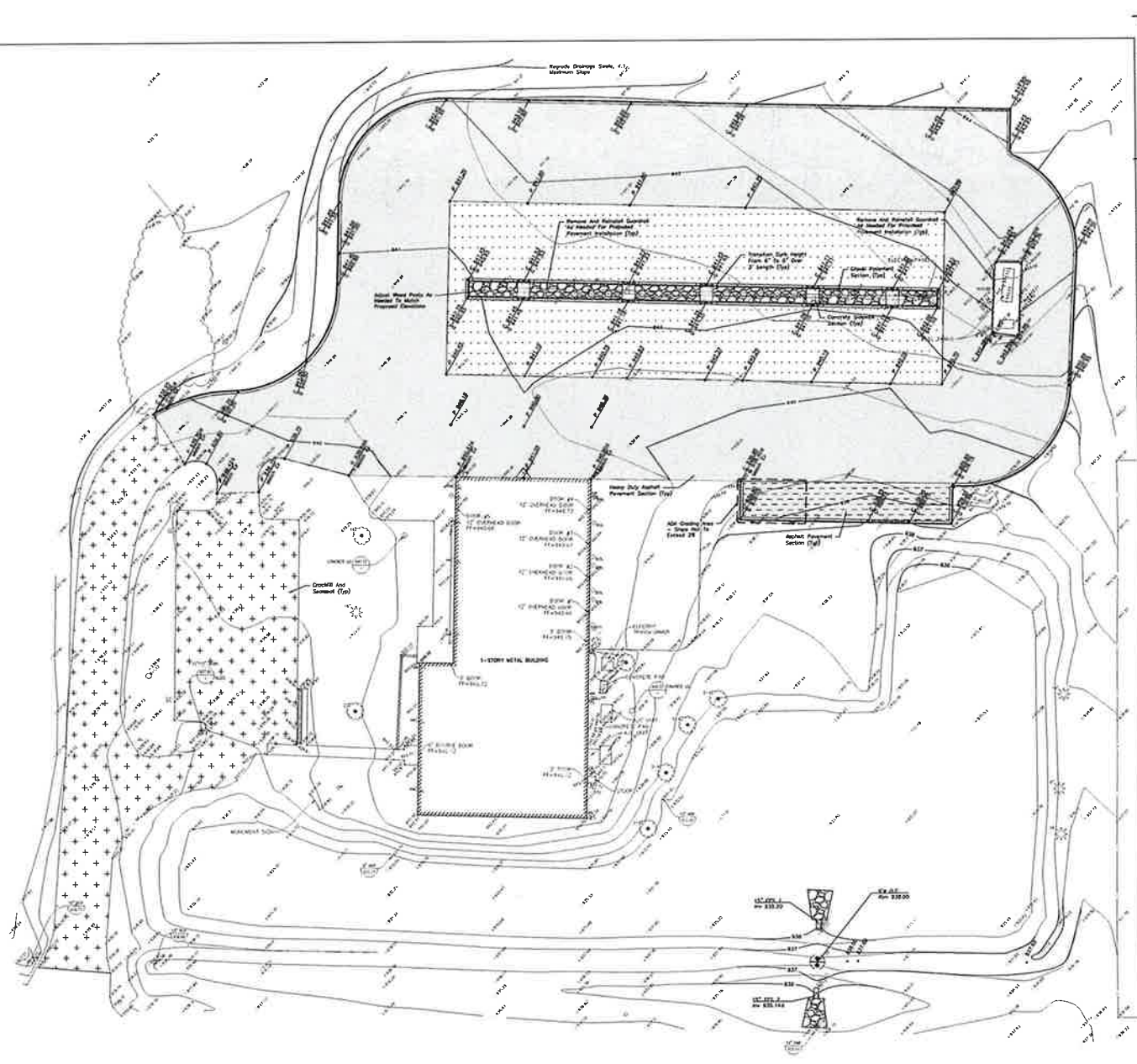
 Title _____ Date _____

REV.	DATE	DESCRIPTION
06/16/10		Issue For Permit
08/02/10		Issue For Bid

PROJECT: NORTH BOONE COMMUNITY UNIT SCHOOL DISTRICT 200 - DISTRICT OFFICE BUS LOT
 DRAWING NO: C-300
 DATE: 08/16/10

Sheet Title: **GRADING AND PAVING PLAN**

Sheet No: **C300**



GRADING NOTES

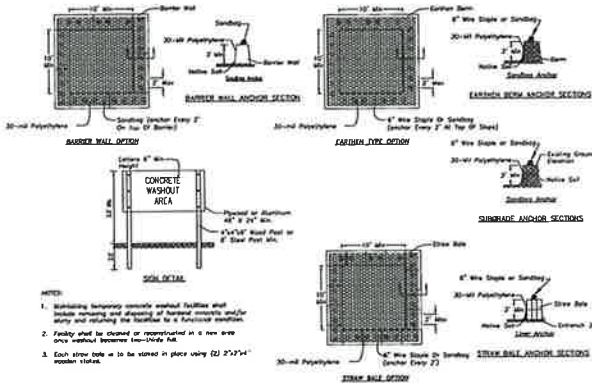
- The Grading and Structure of Proposed Improvements Shall Be Done in a Manner WHICH WILL ALLOW FOR FUTURE DRAINAGE AND NOT CAUSE PROBLEMS OF SLOPEWATER ON THE SURFACE OF PROPOSED IMPROVEMENTS.
- All Landscaped Areas Indicated BY CONSTRUCTION SHALL BE PROTECTED WITH 8 INCHES (MIN) TO 12 INCHES (MAX) TYPICAL SOFTWOOD.
- Accessible Parking Spaces and Loading Spaces SHALL BE CONFORM TO MINIMUM 2000 sq ft minimum. Minimum Sloped Grade SHALL BE 1:20. Minimum Lengthwise Slope SHALL BE 1:48. CONTACT ENGINEER IF CONDITIONS EXIST.

PAVING & SURFACE LEGEND

- Asphalt Pavement Section
 1 1/2" Hot Mix Asphalt, 5'±-15.5, 500
 2 1/2" Hot Mix Asphalt, 5'±-15.5, 500
 3" Bituminous Concrete (Type B, Crushed, Class II)
 4" Bituminous Concrete (Type B, Crushed, Class II)
- Concrete Driveway Section
 5" Portland Cement Concrete
 6" 1/2" 12# x 18" Steel Reinforcing Bar
 4" Aggregate Base Course, Type B, Crushed
- Concrete Slab Section
 7" Portland Cement Concrete
 8" 1/2" 12# x 18" Steel Reinforcing Bar
 2" Aggregate Base Course, Type B, Crushed
- Heavy-Duty Asphalt Pavement Section
 1 1/2" Hot Mix Asphalt, 5'±-15.5, 500
 2" Hot Mix Asphalt, 5'±-15.5, 500
 1" Hot Mix Asphalt, 5'±-15.5, 500
 4" Non-Steel Concrete Fabric, 5'±
- Asphalt Pavement Base Coat and Drain Pile
 1" Hot Mix Asphalt, 5'±-15.5, 500
 1" Hot Mix Asphalt, 5'±-15.5, 500
 2" Hot Mix Asphalt, 5'±-15.5, 500
 1" Hot Mix Asphalt, 5'±-15.5, 500
 1" Hot Mix Asphalt, 5'±-15.5, 500
- Green Top Section
 1" CA-4 Aggregate
- Stormwater Detention Flow Path
- Slope Line/High Point

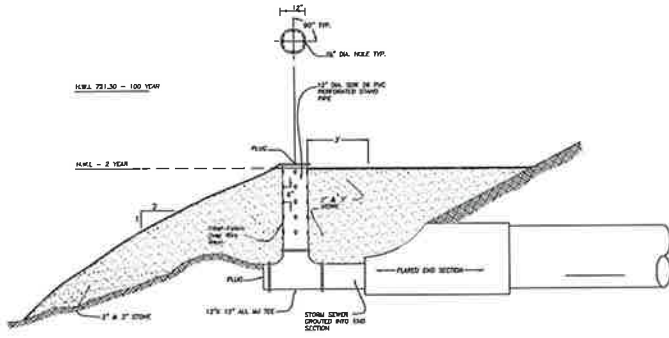
GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Telephones, Gas, Sewer, Etc., are SHOWN ON THE PLAN. HAS BEEN OBTAINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER HAS NOT MADE A FIELD SURVEY THEREOF. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. CONTACT ENGINEER IMMEDIATELY IF SURFACE AND/OR SUBSURFACE FEATURES ARE DIFFERENT THAN SHOWN ON THE DRAWING.
- Verify the Engineer without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Verify the Owner, Engineer and the Utility a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Herein Shall Be Restored to Original Conditions or the Satisfaction of the Owner or the Authority Having Jurisdiction. It is the Contractor's Responsibility to Show That Damaged Areas Have Not Disturbed by Construction Operations.
- These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (EDF) and Shall All Site Improvements Accordingly.
- No Person May Utilize the Information Contained Within These Drawings, Without Written Approval from Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings for Construction Purposes AS A CONVENIENCE TO THE OWNER, ARCHITECT, CONTRACTOR, OR OTHER PARTY. THE USER OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER OF THIS INFO SHALL OBTAIN ALL NECESSARY AND VALIDATING INFORMATION WITH THE CONSTRUCTION DRAINAGE AND PAVING PLAN, AND CONSIDER ALL DIMENSIONS AND LOCATIONS OF ALL SITE AREAS, IF CONDITIONS CHANGING THE USER OF THIS INFORMATION SHALL CONTACT THE ENGINEER IMMEDIATELY.
- Provide an As-Built Survey of the Construction Site with the Proposed Land Survey. The Survey SHALL SHOW AS A MINIMUM ALL EXISTING BUILDING FOOTPRINTS, LOCATIONS, DIMENSIONS, AND ALL OTHER SURFACE STRUCTURE LOCATIONS, DIMENSIONS AND VOLUMES. PROVIDE THE DRAINAGE VOLUME CALCULATIONS FOR THE DRAINAGE.
- The Plans Department of Transportation Standard Specifications for Road and Bridge Construction, Latest Edition, and All Applicable Treaties, Shall Govern the Contract and Public Work Under This Contract Unless Noted Otherwise.

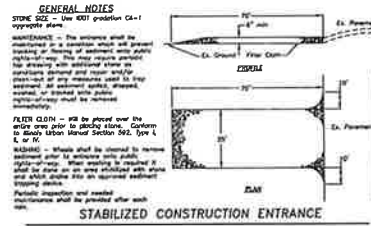


- NOTES:**
1. Stabilizing temporary concrete washout facilities shall include measuring and drawing of lateral concrete washout area and retaining the washout to a functional condition.
 2. Washout shall be repaired or replaced in a new area when washed because too close shut.
 3. Each draw hole to be placed in place using 22"x24"x1" wooden stakes.

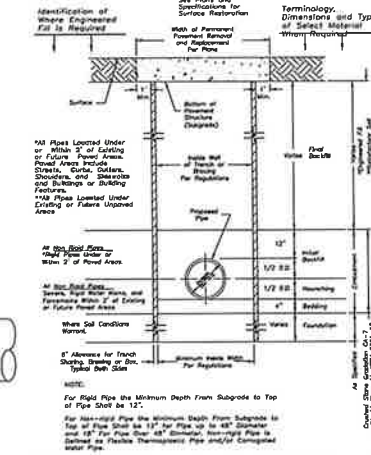
CONCRETE WASHOUT FACILITY



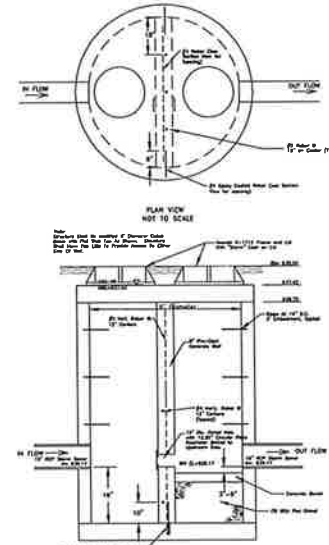
OUTLET STRUCTURE - PERFORATED RISER



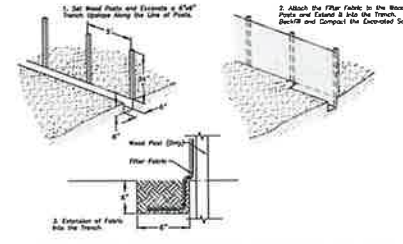
STABILIZED CONSTRUCTION ENTRANCE



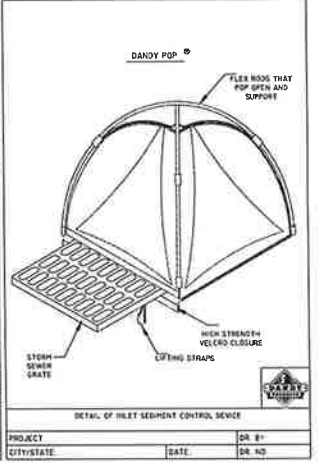
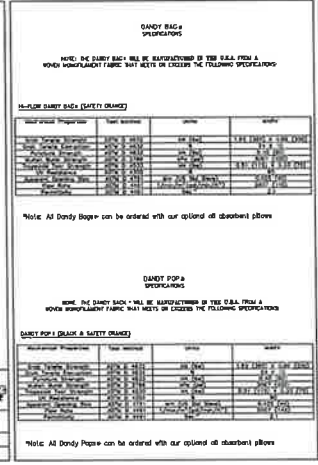
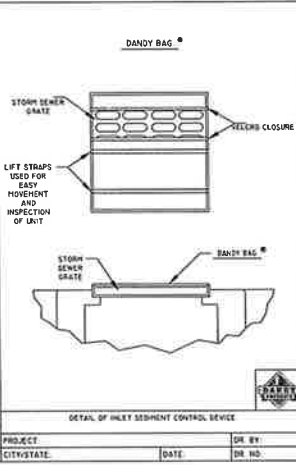
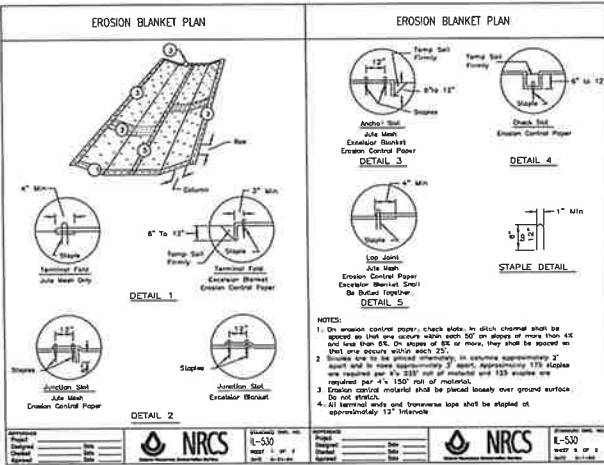
STANDARD SEWER AND WATER TRENCH SECTION



RESTRICTOR STRUCTURE



SILT FENCE CONSTRUCTION (AASHTO 288-00)



PROJECT: _____ DATE: _____ DR: _____
CITY/STATE: _____ DR: NO: _____

NRCS 8-530
NATIONAL RESTORATION CONSULTANTS SERVICE

PROJECT: _____ DATE: _____ DR: _____
CITY/STATE: _____ DR: NO: _____

PROJECT: _____ DATE: _____ DR: _____
CITY/STATE: _____ DR: NO: _____

PROJECT: _____ DATE: _____ DR: _____
CITY/STATE: _____ DR: NO: _____

Revised For: _____

No.	Date	Description
06/16/21	Issue For Permit	
06/16/21	Issue For Bid	

Sheet 1 of 1

SITE DETAILS

Sheet No: _____